

MANASQUAN PLANNING BOARD MEETING AGENDA

NOVEMBER 16, 2023 7:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on November 16, 2023 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Approval of Vouchers
2. Regular Meeting Minutes September 12, 2023
3. Regular Meeting Minutes - October 13, 2023
4. 66 N. Potter Properties, LLC -Request Extension to File Final Plat Documents

APPLICATION

5. #15-2023 Ocean Bay Developers, LLC - 10 Branin Avenue - Block 23 Lot 7.05
6. #16-2023 Reilly, William & Michelle - 75 Morris Avenue - Block 71 Lot 112.03

OTHER BUSINESS

Comments from individual board members

7. Cancel November 21, 2023 Special Meeting
8. 2024 Planning Board Member Nominations

ADJOURNMENT

B.O.M. RECEIVED
M&G _____ ABM _____
CLERK _____ CFO _____

SEP 14 2023

DPW _____ CONST _____
PD _____ OTHER _____

September 12, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1871
Variance – Ocean Bay Developers LLC
Block 23, Lot 7.05
10 Branin Avenue
B-1 Business Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Variance Plan, prepared by Andrew Stockton, PE, PLS, of Scope Engineering, Inc., dated August 15, 2023.
2. Plot & Grading Plan, prepared by Matthew Martin, PE, of Scope Engineering, Inc., dated March 27, 2023, last revised April 18, 2023.
3. Foundation Location Survey, prepared by Andrew Stockton, PE, PLS, of Scope Engineering, Inc., dated August 5, 2023.
4. Architectural Plans prepared by Dario Pasquariello, RA, AIA, dated November 18, 2022.

The property is located in the B-1 Business Zone with frontage on Branin Avenue. The property previously received approval for a single family dwelling as part of a major subdivision and use variance application in 2022. With this application, the applicant proposes to keep the existing partially framed dwelling in its current location. This application is deemed complete on September 12, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the B-1 Single Family Residential Zone. The existing and proposed residential use is permitted by the previous Board approvals.
2. The following bulk ('c') variance is required as part of this application:
 - a. A minimum side yard setback of 5 feet is required, whereas a setback of 3.2 feet is proposed on the southwest side.



Re: Boro File No. MSPB-R1871
Variance – Ocean Bay Developers LLC
Block 23, Lot 7.05

September 12, 2023
Sheet 2

3. The requested variance occurs between the subject parcel and adjacent Lot 7.04 which the applicant also owns. It is suggested that the applicant consider potential deed restrictions, easements, or buffers as part of the variance request. However a ten foot wide drainage easement exists along the property line of the two properties which may impact any proposed restrictions.
4. A drainage recharge system was approved in the rear yard as part of the plot plan review for this application.
5. It appears that no trees will be removed as part of this application.
6. Any curb must be replaced along Branin Avenue as necessary.
7. All necessary building permits must be obtained prior to construction.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Andrew Stockton, PE, PLS
Scope Engineering, Inc., PO Box 899, Forked River, NJ 08731
Ocean Bay Developers, LLC
1065 Route 22, Bridgewater, NJ 08807

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Ocean Bay Developers, LLC

*Applicant's Address: 1065 Route 22 W, Bridgewater, NJ 08807

*Telephone Number: Home: _____ Cell: 732-580-3654

*e-mail Address: chris@njkitchenman.com

*Property Location: Proposed street address: 10 Branin Avenue

*Block: 23 Lot: 7.02 (New Lot 7.05)

*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: 8/22/2023

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? Yes

*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? Yes
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? Yes

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.

Rebecca A. Marto

Signature of Applicant or Agent

8/21/2023 Revised 9/28/2023

Date to indicate correct Lot
information.

06/2021

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

Item 5.

August 22, 2023

Ocean Bay Developers, LLC
1065 Route 22
Bridgewater, NJ 08807

Re: Block: 23 Lot: 7.05 Zone: B-1
10 Branin Avenue

Dear Sir or Madam:

On this date we reviewed your revised application for the following project.

Construct a new single family dwelling.

Revised plot plan prepared by Andrew Stockton on August 5, 2023.

Application denied for the following reason(s):

Section 35-9.4 – Side Setback – 5ft. Required
3.2ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

RESOLUTION NO. 28 - 2022
(Application No. 08 -2022)

RESOLUTION OF THE PLANNING BOARD OF THE
BOROUGH OF MANASQUAN, COUNTY OF
MONMOUTH, STATE OF NEW JERSEY.

WHEREAS, Ocean Bay Developers, LLC, as contract purchaser, (hereinafter referred to as the "applicant") has applied to the Planning Board of the Borough of Manasquan (the "Board") for preliminary and final major subdivision approval pursuant to N.J.S.A. 40:55D-48 and 50, preliminary and final site plan approval pursuant to N.J.S.A. 40:55D- 46 and 50, and variance relief pursuant to N.J.S.A. 40:55D-70(c) and (d) from the provisions of the Manasquan Zoning Ordinances to subdivide a property and construct four single-family residential dwellings at property located at 39 South Street, Manasquan, New Jersey, and known as Block 23, Lots 7.02 and 10 on the Manasquan Tax Map; and,

WHEREAS, a public hearing was held via a remote electronic meeting format via the Zoom remote conferencing platform at the regularly scheduled meeting of the Planning Board on July 5, 2022, and no live in-person attendance being held in the Municipal Building, and testimony having been presented on behalf of the applicant, and objectors to the application having been given an opportunity to be heard; and,

WHEREAS, such proof of service as may be required by New Jersey Statutes and Municipal Ordinances has been furnished; and,

WHEREAS, the Board, having considered the application, testimony, and exhibits submitted, makes the following findings:

1. The property is located in a B-1 Zone. It is an irregularly shaped lot situated on the west side of South Street and the east side of Branin Avenue. The property has 81.84 feet of frontage on South Street and 150 feet along Branin Avenue. The property has an extension that extends to the north from the northerly rear area of the property now proposed to be New Lot 7.14. The property has 27,503 square feet in total area. The property contains a 2 ½-story frame structure that was previously used as the Neary-Quinn Funeral Home. The property also has a large, paved parking lot that has 150 feet of frontage along, and access to, Branin Avenue. The lot design is unique in that the 81.84 feet of frontage along South Street is somewhat offset from the 150 feet on frontage on Branin Avenue.

2. The applicant is proposing to demolish all of the structures on the property, to subdivide the property into four lots, and to construct residential dwellings on each lot. The applicant proposes to create three lots each with 50 feet of frontage on Branin Avenue. These lots are shown on the Preliminary/Final Subdivision & Site Plans dated April 11, 2022, prepared by Andrew R. Stockton, P.E., P.L.S. According to the plans presented, New Lot 7.11 is to be situated as the most southerly lot of the three. New Lot 7.13 is to be situated as the most northerly lot of the three. New Lot 7.12 is to be situated between the other two. New Lot 7.14 is proposed to have 81.84 feet of

frontage along South Street and extend to the west where it would abut and adjoin Proposed New Lot 7.13. The afore-mentioned extension to the north is proposed to become part of New Lot 7.14. New Lot The Board finds that the Lots are conforming in all respects and no variance relief is required for the approval of the subdivision as proposed.

3. The applicant is further proposing to construct a single-family residential dwelling on each of the New Lots fronting on Branin Avenue. In this regard the applicant stipulated that the construction of the structures on New Lots 7.11, 7.12, and 7.13 would conform in all respects to the requirements of the R-2 Zone. The applicant originally also proposed to construct two four-bedroom townhouses with attached single-car garages on proposed New Lot 7.14. These townhouses were proposed to have access to South Street via a 12-foot-wide driveway to be constructed within an access and utility easement located on Lot 10. The driveway was to serve the proposed garages and a paved rear area containing additional parking spaces. The applicant also originally proposed to locate a pool and cabana in the extension area to the rear of the property. During the hearing of the matter, and upon receiving the comments of the Board, the applicant withdrew its proposal to construct the townhouses, along with the variance relief for Maximum Lot Coverage and parking space dimensions. The relief for aisle width regarding the shared driveway access will remain because the applicant intends to use said driveway for access to the single-family dwelling. The applicant also withdrew the proposal to construct a pool and cabana in the extension area on New Lot 7.14. The applicant requested that its application be amended accordingly and specifically to include variance relief to construct one single-family residential dwelling on proposed New Lot 7.14. The Board found the amendment acceptable because the relief is substantially similar to that which was originally requested, but less intense, and because the relief is the same relief that was required and requested for New Lots 7.11, 7.12, and 7.13. The Board accepted the amendment as proposed, subject to the condition that any structure to be built on the New Lot 7.14 would conform in all respects to the requirements of the R-2 Zone. The Board makes compliance with the requirements of the R-2 Zone in reference to each and all of the New Lots a condition of any approval granted herein. The applicant provided the "39 South Street Parcel" architectural plans prepared by VLBJR+ Architecture, dated December 10, 2021; the Preliminary /Final Subdivision & Site Plans, prepared by Andrew R. Stockton, P.E., P.L.S., P.P. and Matthew R. Martin, P.E., dated April 11, 2022, and December 6, 2021 respectively; a Colored Rendering of the site prepared by Scope Engineering, Inc., dated June 21, 2022; the Stormwater Management Summary Report prepared by Matthew R. Martin, P.E., dated as last revised March 21, 2022; the Traffic Report prepared by David R. Shropshire, P.E., P.P. dated April 26, 2022; the Letter Response to the Board Engineer's report prepared by Rebecca A. Martin, E.I.T., dated June 13, 2022; the Lighting and Landscape Exhibit prepared by Scope Engineering, Inc., dated June 7, 2022; and the Drainage Exhibit prepared by Scope Engineering Inc., dated June 6, 2022. These plans and exhibits

more fully describe the applicant's proposal and were submitted to and relied upon by the Board, along with all other exhibits and testimony, in its deliberations regarding this application.

4. The applicant was represented by Harvey York, Esq., before the Board and the testimony was provided primarily through Andrew R. Stockton, P.E., P.L.S., P.P. Mr. Stockton was accepted by the Board as an expert in the fields of Engineering and Planning.

5. Upon review of the application by the Board Engineer, and upon hearing his comments and receiving his report, the Board determined that the applicant's proposal required a use variance pursuant to N.J.S.A. 40:55D-70(d.1) to permit the construction of the single-family dwellings on proposed New Lots 7.11, 7.12, 7.13 and 7.14 because the property is located in the B-1 Zone and single-family residential dwellings are not permitted in the B-1 Zone. The applicant originally requested bulk variance relief for Maximum Building Coverage and parking space dimensions which were mooted by the amendment to the application found above in Paragraph 3. However, because the applicant continues in its intent to use the shared access across Lot 10, variance relief Minimum Driveway Aisle Width will be required where 24 feet is required and 12 feet is proposed.

6. During the presentation of the matter to the Board, the applicant made the following stipulations that were accepted by the Board and made a condition of any approval herein.

A. That the applicant will not remove but will repair the existing retaining wall located in the front of the subject property and in front of the property of the northerly Church neighbor.

B. That the applicant would remove certain trees that are located between the existing funeral home structure and the church structure.

C. That the applicant would place and record a deed restriction on the deeds for all proposed New Lots indicating that the lots must conform to the requirements of the Borough of Manasquan R-2 Zone.

D. That the applicant would seek the approval of the Governing Body of the Borough of Manasquan to move the existing storm drainage easement and facilities presently existing on the property.

E. That the applicant further would comply with the recommendations of the Board's Engineer as to the implementation and use of drywells or similar structures for the control of roof runoff.

F. That the applicant would construct the shared driveway by the use of pavers.

7. The Board finds that Preliminary and Final Major Subdivision approval may be granted as requested because the applicant has demonstrated that the lots conform to the requirements of the B-1 Zone and that the Plans otherwise substantially meet the requirements for granting such approvals as provided by the Borough's Ordinances. The Board finds that the Preliminary and Final Site Plan approval may be

granted, subject to the comments and requirements as imposed by the Board, and subject to the comments and recommendations of the Board Engineer as such are found in his report of May 23, 2022, or as otherwise placed on the record, because the Board finds that the plans provided generally comport with the requirements for granting such approvals as provided by the Borough's Ordinances.

8. The Board finds that the use variance relief may be granted because the property is uniquely shaped and situated in the community. The Property is uniquely shaped in that it has an essentially rectangular area of land, with frontage on South Street containing a now vacant funeral home structure, which is connected at its southerly rear to the parking lot area that has 150 feet of frontage on Branin Avenue. The area of the property along Branin Avenue is also essentially rectangular in design. The two areas are off-set and, while they connect, they do not align. The property is uniquely situated because it is located at the boundary of the B-1 Zone and the R-2 Zone. The Board finds that the property is essentially surrounded by the R-2 Zone in all relevant respects. From a review of the Zone Map and the configuration of the zone lines drawn thereon, the Board may and does infer, and therefore for these purposes finds, that the zoning in this instance was likely established to accommodate the existing funeral home and parking uses on this property and was not necessarily established to guide the future use and development of the property. In this area, the Board finds that the B-1 Zone can be fairly said to intrude upon the R-2 Zone and the established residential uses therein. The Board finds that without question the development of the Branin frontage for commercial purposes would irreparably harm the peace and repose of the residential community now established along Branin Avenue and nearby Allen Avenue. The Board finds that because of the unique configuration of the zone in the area in question that it is apparent that the zone was so prepared to accommodate the property and as such no consideration was provided in the ordinances to meet the circumstance of the closing of the former use. From this the Board may and does find that a sufficient and enhanced quality of proofs have been provided to reconcile the grant of the variance with the apparent prohibition in the ordinance. The Board finds further that the uses along South Street include a residential use to the north, a church to the south and municipal parking across the street to the east. The Board finds therefore that the frontage along South Street is eclectic and suitable to the use proposed. In this case the Board finds that the lot lines are so uniquely drawn that the Board may and should find the property uniquely situated and more readily adaptable and suitable to the use now proposed by the applicant. The Board finds that on the whole the single-family residential use proposed for the property will make for a better use of the land. The Board finds that allowing the property to be developed in this manner does not present any substantial detriment to the public good but rather promotes the public good by preventing inappropriate commercial intrusion into an obviously residential area. The Board also finds that the zone plan will not be substantially impaired by the grant herein. It is unlikely that anything found herein would apply to any other property in the Borough due to this property's unique circumstances

and the use proposed will comport with what is in the area already. The Board finds therefore that pursuant to the above, sufficient special reasons exist to grant the use variance relief requested pursuant to N.J.S.A. 40:55D-70(d.1).

9. The Board finds that the variance for aisle width for the shared driveway may be granted. The Board notes that the aisle width was of greater importance where the applicant was proposing to use the driveway to service two townhouses on Lot 7.14. The Board finds that the proposed use of the access way will be the same as or similar to other shared driveways in the Borough. The Board finds that the access drive will not be subject to such intense use that the additional width would be necessary. The Board finds also that requiring the additional width would be an inefficient use of land. The Board finds that the use of the shared driveway will eliminate the need to install a new driveway access on South Street and will eliminate having multiple access points onto the roadway. Eliminating the inefficient use of land and promoting the public safety are benefits to the community and are stated purposes of zoning under N.J.S.A. 40:55D-2. The Board notes that the parties to the shared arrangement are in agreement with the use as proposed. The arrangement, if at all detrimental, is not likely to be a detriment to other persons so the Board finds therefore that there will be no substantial detriment to the public good by the grant of the variance. The Board further finds that the driveway will function in a similar manner to other shared residential driveways in the community and therefore will not represent a substantial detriment to the zone plan. As such the Board finds that it may and hereby does grant the relief for the aisle width pursuant to N.J.S.A. 40:55D-70(c.2) as a better zoning alternative.

10. For the reasons stated above, the Board finds that the application as proposed is in keeping with sound planning and zoning and does not present substantial detriment to the public good nor does it substantially impair the intent and purpose of the zoning plan. The Board finds therefore that the subdivision, site plan and variance relief as described above may be and is granted accordingly.

WHEREAS, The Board has determined that the relief requested by the applicant can be granted;

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Manasquan on this 2nd day of August, 2022, that the application for variance relief shall be and is hereby granted as stated herein subject to the following conditions:

1. That all construction shall be made in compliance with the plans presented and referenced herein except as modified herein, all conditions made hereto whether found herein or made upon the record, and all stipulations made by the applicant as memorialized herein, and if not so memorialized, as made upon the record.
2. The applicant shall be bound by and comply with each and every stipulation and condition as found in this resolution or as otherwise placed on the record at the hearing.
3. That all existing taxes, water and sewer assessments and other municipal fees shall be paid current prior to the issuance of a certificate of occupancy.
4. That all construction be completed in accordance with Borough

Ordinances, the Building Codes, and all other state, federal and local regulations.

5. That all professional fees including all legal fees and engineering fees, and all inspection fees, or performance bonds set by the Board Engineer, shall be paid by the applicant prior to the issuance of a building permit.

6. That the applicant shall conform his plans to the recommendations of the Board Engineer as found in his report of May 23, 2022.

7. That the applicant shall be bound by and comply with all stipulations as found in the applicant's reply letter of June 13, 2022.

8. That the applicant shall obtain any and all necessary approvals from the Borough of Manasquan to move the existing storm drainage easement and facilities located on the property.

9. That the structures to be built on the New Lots shall conform in all respects to the requirements of the R-2 Zone and the properties shall be so deed restricted.

10. That the applicant will comply with the recommendations of the Board's Engineer as to the implementation and use of drywells or similar structures for the control of roof runoff.

11. That the applicant shall repair and not remove the existing retaining wall located in the front of the subject property and in front of the property of the northerly church neighbor.

12. That the applicant shall remove trees that are located between the existing funeral home structure and the church property.

13. That the applicant shall construct the shared driveway by the use of pavers.


BE IT FURTHER RESOLVED that a copy of this resolution be immediately provided by the Planning Board Secretary to the Zoning Officer, to the Construction Official, to the Planning Board's Professional Engineer, to the Tax Office, to the Water and Sewer Departments and to the Department of Public Works, in order that said officials and departments may appropriately note their records with respect to the development approval herein granted.



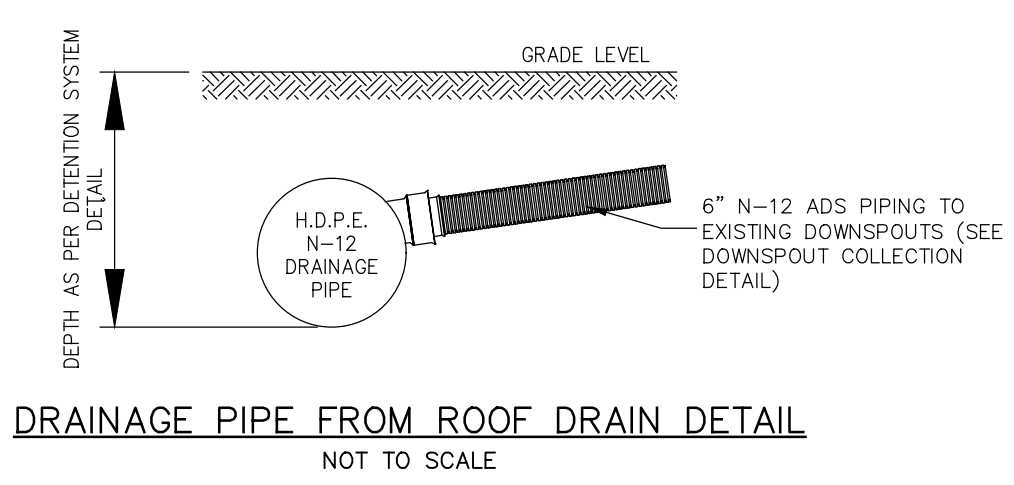
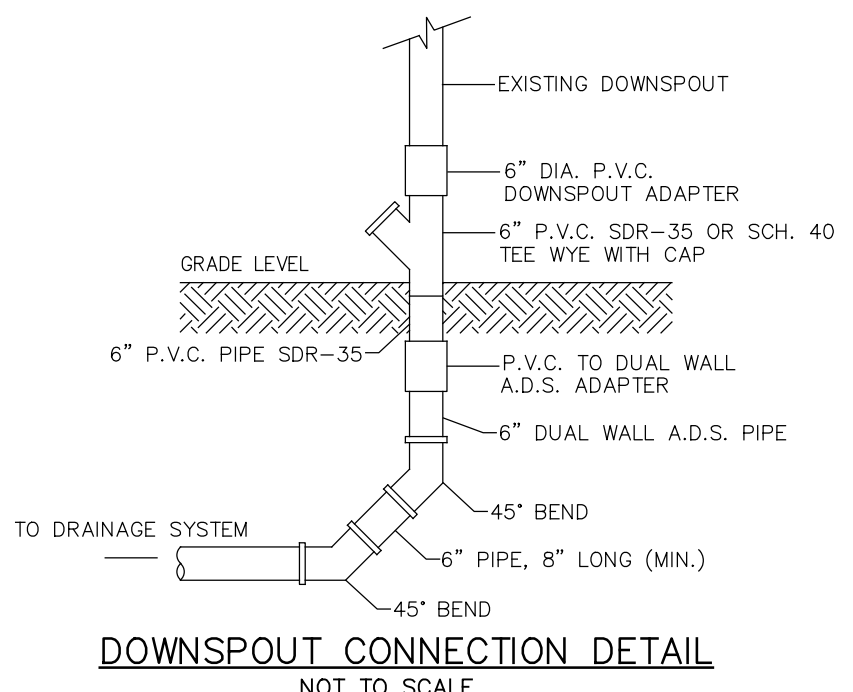
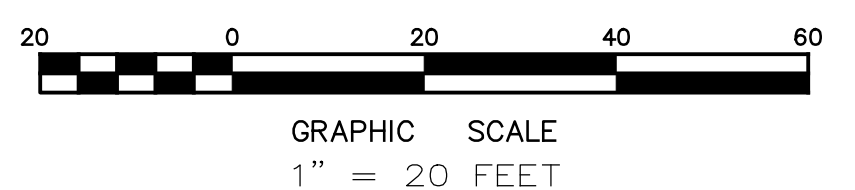
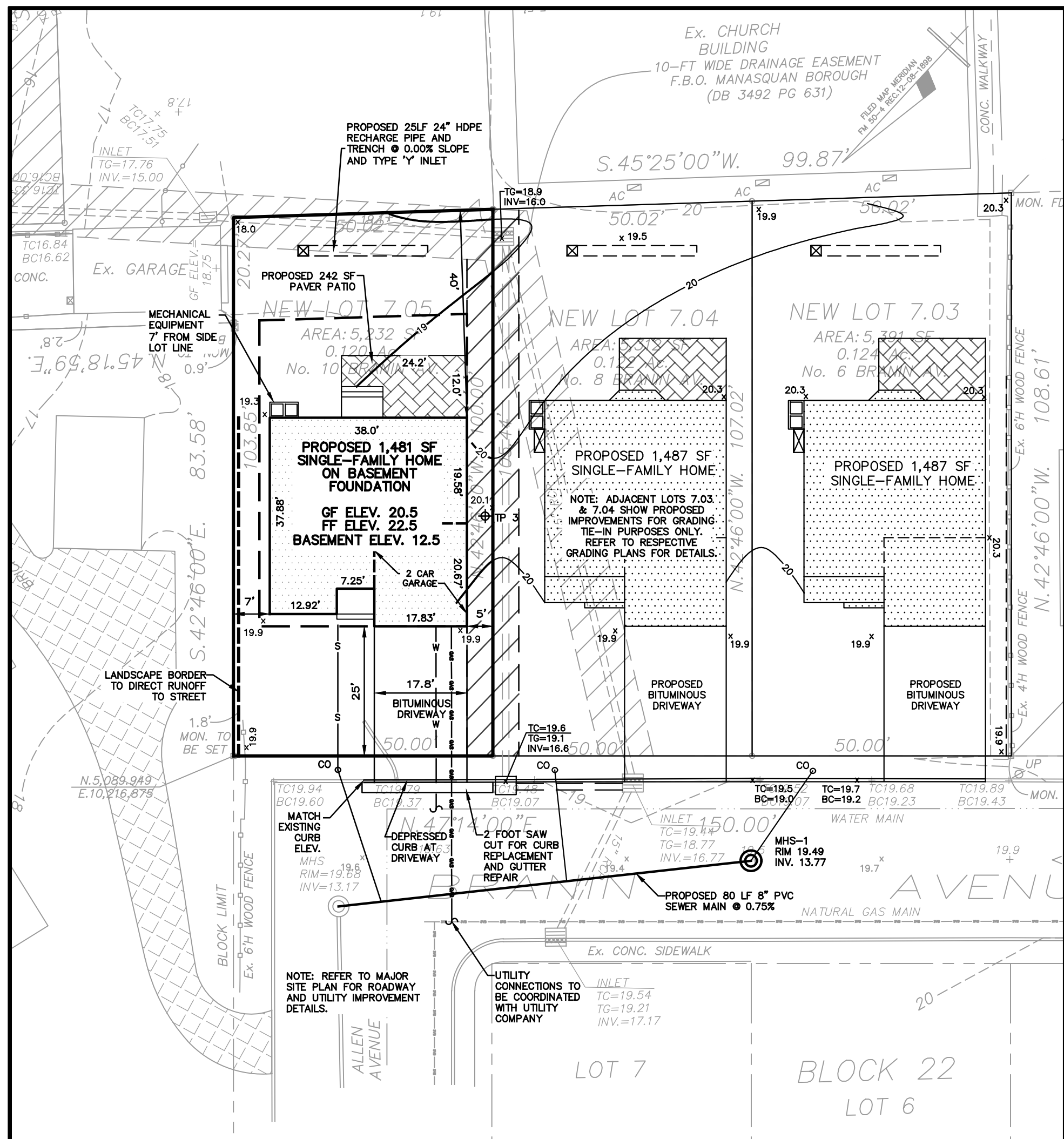
Neil Hamilton,
Chairman of the Planning Board
of the Borough of Manasquan

CERTIFICATION

I, Barbara Ilaria, Secretary of the Planning Board of the Borough of Manasquan, in the County of Monmouth, State of New Jersey, do hereby CERTIFY that the foregoing is a true copy of a resolution adopted by the Planning Board at its regular meeting held on August 2, 2022.


Barbara Ilaria

Resolution Prepared by:
George D. McGill, Esq.
Attorney to the Planning Board
Of the Borough of Manasquan



SEASONAL HIGH WATER TABLE NOTE
 TP#3 PERFORMED 8/2/2022
 SHWT NOT ENCOUNTERED TO 10.0' BELOW ELEV. 19.1 (ELEV. 9.1)
 ESTIMATED SEASONAL HIGH WATER TABLE DEEPER THAN ELEV. 9.1
 BASEMENT PROPOSED AT ELEV. 12.5, MIN 3.4 FEET ABOVE ESHWT

GENERAL NOTES

1. APPLICANT/OWNER:
OCEAN BAY DEVELOPERS, LLC
1065 ROUTE 22
BRIDGEWATER, NJ 08807
2. DIMENSIONS SHOWN IN FEET AND DECIMALS THEREOF.
3. BUILDING LOCATION/DIMENSIONS SHOWN TO THE SIDING AND NEAREST 0.01 +/-.
4. ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) IN ACCORDANCE WITH THE UNDERGROUND FACILITIES CONTROL ACT LAW PRIOR TO ANY SUBSURFACE ACTIVITY.
5. CONTRACTOR SHALL REVIEW MEP/ARCHITECTURAL PLANS AND CONFIRM ALL UTILITY CONNECTIONS. ALL UTILITY CONNECTIONS SHALL BE REVIEWED & VERIFIED BY THE CONTRACTOR PRIOR TO START OF SITE CONSTRUCTION. FINISHED FLOOR ELEVATIONS, ADJACENT GRADE ELEVATIONS, DOORWAY LOCATIONS SHALL ALSO BE REVIEWED AND VERIFIED BY THE CONTRACTOR WITH ANY DISCREPANCIES TO BE IDENTIFIED TO ARCHITECT AND ENGINEER.
6. ALL UTILITY CONNECTIONS AND RELOCATIONS SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE REQUIREMENTS AND METERING WITH APPROPRIATE UTILITY SERVICE COMPANIES AND ARCHITECT TO PROVIDE THE MOST APPROPRIATE LOCATIONS FOR CONNECTIONS.
7. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR, INCLUDING TRAFFIC CONTROL MEASURES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
9. EXISTING CONDITIONS TAKEN FROM A MAP ENTITLED, "TOPOGRAPHIC MAP OF EXISTING CONDITIONS, BLOCK 23, LOT 7.02 & LOT 10, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY, CITY TAX MAP SHEET No. 3" PREPARED BY ANDREW R. STOCKTON OF SCOPE ENGINEERING, INC. REVISION DATED 12-26-2022.
10. BASE MAP TAKEN FROM MAP ENTITLED "PRELIMINARY PLAT - MAJOR SUBDIVISION, BLOCK 23, LOT 7.02 & 10, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY, CITY TAX MAP SHEET No. 3" PREPARED BY ANDREW R. STOCKTON OF SCOPE ENGINEERING, INC. REVISION DATED 12-26-2022.
11. THIS PLAN WAS PREPARED FOR THE PURPOSE OF PROPOSED SINGLE-FAMILY HOME AND PLACEMENT OF AMENITIES AS SHOWN AND IS NOT INTENDED TO BE USED FOR ANY OTHER PURPOSE.
12. PLAN NOT VALID UNLESS ENGINEER'S SEAL IS AFFIXED.

ZONING SCHEDULE - RESIDENTIAL "R-2" ZONE*

*LOT DEED RESTRICTED TO COMPLY WITH R-2 BULK ZONING SCHEDULE PER RESOLUTION 28-2022

REQUIREMENT	R-2 ZONE	PROPOSED (7.05)	COMPLIES
PERMITTED USE	SINGLE-FAMILY	SINGLE-FAMILY	YES
MIN LOT AREA	5,000 SF	5,232 SF	YES
MIN LOT FRONTAGE	50 LF	50 LF	YES
MIN FRONT YARD SETBACK	25 LF	25 LF	YES
MIN SIDE YARD SETBACK	5 LF	5 LF	YES
MIN SIDE YARD SETBACK	15 LF	12 LF	NO
MIN REAR YARD	20 LF	40.0 LF	YES
MAX PRINCIPAL BLDG. HEIGHT (MEASURED FROM TOP OF CURB)	35 LF (2.5 STORIES)	32 LF (2.5 STORIES)	YES
MAX BUILDING COVERAGE	30 %	28.3%	YES
MAX LOT COVERAGE	45 %	39.4%	YES

PARKING TALLY

REQUIRED PARKING (NJ RSIS 5:21-4.14 TABLE 4.4)
 4BR SINGLE-FAMILY DETACHED: 2.5 SPC/UNIT x 1 UNITS = 2.5 SPC

PROPOSED PARKING:
 (2) GARAGE PARKING SPACES
 (2) OFF-STREET PARKING SPACES

TOTAL PARKING PROVIDED = 4 SPC

LOT COVERAGE CALCULATION

PROPOSED LOT COVERAGE
 PROPOSED PRINCIPAL BUILDING FOOTPRINT AREA = 1,481 SF
 TOTAL PROPOSED BUILDING COVERAGE = 1,481 SF = 28.3 % COVERAGE

PROPOSED IMPERVIOUS COVERAGE (DRIVEWAY) = 732 SF

TOTAL PROPOSED LOT COVERAGE = 2,213 SF = 39.4 % COVERAGE

DRYWELL DESIGN CALCULATIONS:

STORAGE VOLUME:

PER 28-1.3(g) A DRYWELL OR SEEPAGE PIT SHOULD BE DESIGNED TO CONTAIN STORMWATER RUNOFF FROM ONE INCH OF PRECIPITATION OVER A 24-HOUR-PERIOD.

ROOF AREA = 1,481 SF
 1,481 SF*(1.0 INCH/12 INCH/FT) = 123.4 CUBIC FEET OF STORAGE REQUIRED

24" HDPE PIPE = (3.14 x 2 x 2)/4 = 3.14 CF/FT
 VOID RATIO OF STONE FILL = 0.35
 3' x 3' STONE FILL = [(3 x 3) - 3.14] 0.35 = 2.1 CF/FT
 3.14 + 2.1 = 5.24 CF/FT
 5.24 CF/FT x 25 LF = 131 CF OF STORAGE PROVIDED

TIME TO DRAIN:

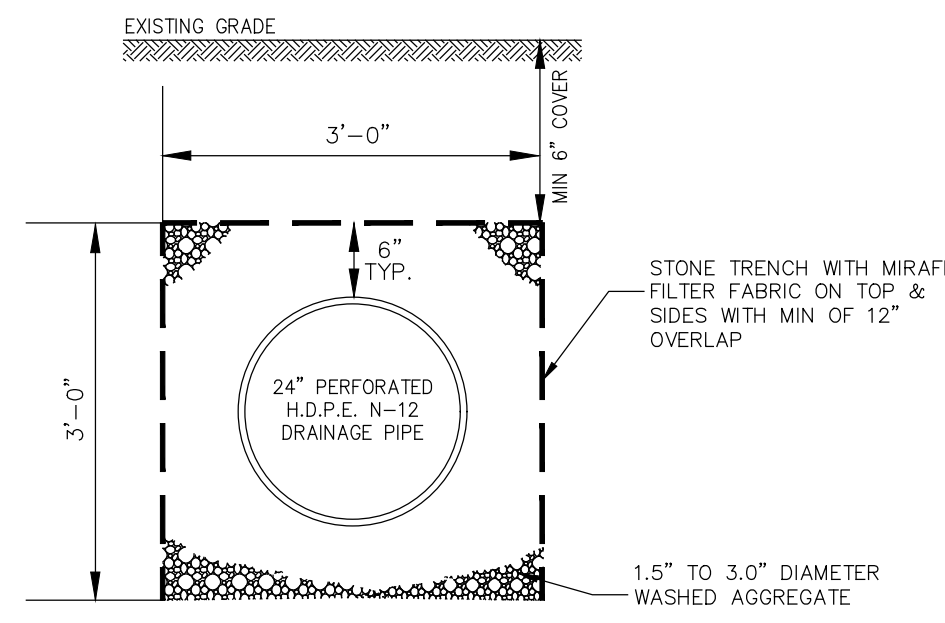
PERMEABILITY RATE OF SOIL 2-19.98 in/hr BASED ON USDA WEB SOIL SURVEY (EveE)
 DESIGN PERMEABILITY RATE = 2.0 in/hr / 2 = 1.0 in/hr

VOLUME OUT = (Vtotal / H)*PERMEABILITY = (131 CF / 3 FT)*(1.0 IN/HR)*(1 FT / 12 IN) = 3.64 CF/HR
 TIME TO DRAIN = RUNOFF VOLUME / OUTFLOW RATE = 131 CF / 3.64 CF/HR = 36 HRS < 72 HRS OK

SEPARATION FROM SEASONAL HIGH WATER TABLE:

MINIMUM DISTANCE FROM BOTTOM OF STONE TO ESHWT = 2.0'
 BOTTOM STONE TO BE AT 3.5' BELOW PROPOSED ELEVATION
 ESTIMATED SEASONAL HIGH WATER TABLE (ESHWT) > 10.0' BELOW EXISTING ELEVATION
 DISTANCE FROM BOTTOM OF STONE TO ESHWT = 6.5' > 2.0' OK

ALL ROOF RUNOFF SHALL BE CONNECTED TO THE DRYWELL
 ANY SUMP PUMP INSTALLED MUST BE CONNECTED TO A DRYWELL



NOTE:

1. CONTRACTOR SHALL INCLUDE THE COST OF STONE AND FILTER FABRIC IN THE LINEAR FOOT UNIT COST OF "24" PERF. HDPE PIPE."

ROOF RUNOFF DETENTION SYSTEM

NOT TO SCALE

No.	DATE	REVISION	BY	CHK
3	7/6/23	RELOCATED DWELLING	JAR	MRM
2	5/11/23	RELOCATED MECHANICAL EQUIPMENT	JAR	MRM
1	4/18/23	PER ZONING 4/18/23 COMMENTS	RAM	MRM

PLOT & GRADING PLAN FOR:

**10 BRANIN AVENUE
 BLOCK 23 - LOT 7.05**

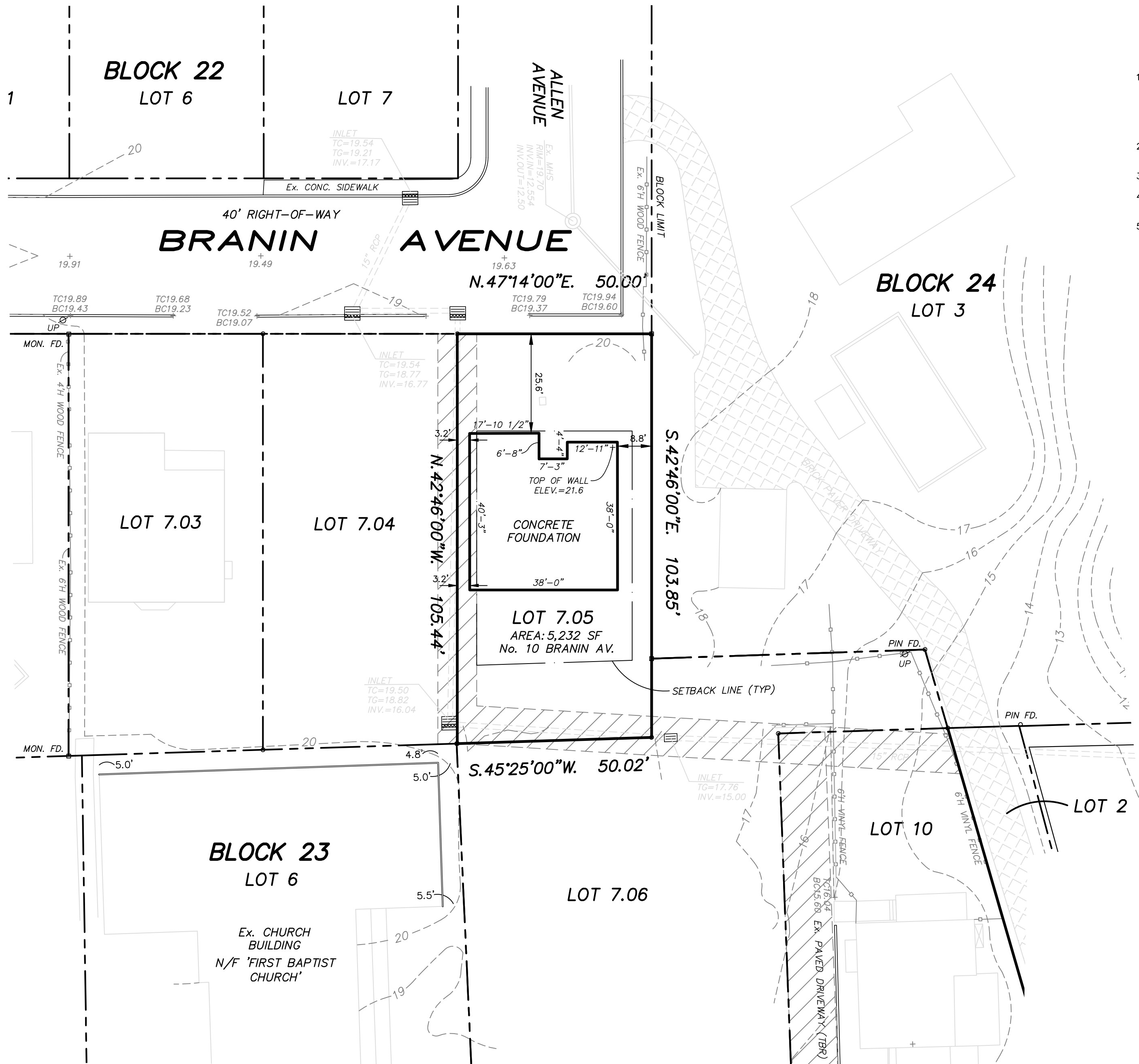
BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

PLOT & GRADING PLAN

SCALE: 1"=20'
DATE: 03/27/2023
DRAWN BY: R.A.M.
CHECKED BY: M.R.M.
SHEET NO. 1 OF 1
PROJECT NUMBER 814-24

Scope Engineering inc.
 Consulting Engineers
 CERTIFICATE No. 24GA28103200
 P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

Matthew R. Martin
MATTHEW R. MARTIN, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic No. 04416500
 DATE 3/27/23



GENERAL NOTES

- SUBJECT PROPERTY IS KNOWN AS LOT 7.05 IN BLOCK 23 AS SHOWN OR ABOUT TO BE SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAPS FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. ALSO KNOWN AS LOT 7.05 IN BLOCK 23 AS SHOWN ON A CERTAIN PLAN ENTITLED: "FINAL PLAT - MAJOR SUBDIVISION, BLOCK 23 LOT 7.02 & LOT 10..." DATED 12-06-21, REVISED THROUGH 6-10-23 AND ABOUT TO BE RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK.
- OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- UNDERGROUND UTILITY LINES, UNDERGROUND STORM DRAINAGE LINES, AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS ONLY.
- THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE, WITH REGARD TO THE PRESENCE OR ABSENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. CLIENT IS ADVISED TO PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.

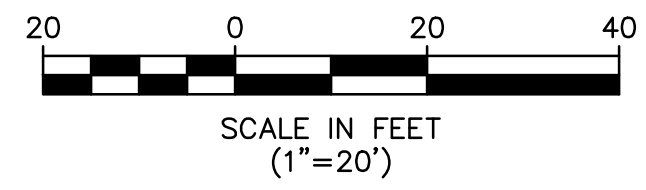
ZONING SCHEDULE - RESIDENTIAL "R-2" ZONE*

*LOT DEED RESTRICTED TO COMPLY WITH R-2 BULK ZONING SCHEDULE PER RESOLUTION 28-2022

REQUIREMENT	R-2 ZONE	PROPOSED (7.05)	COMPLIES
PERMITTED USE	SINGLE-FAMILY	SINGLE-FAMILY	YES
MIN LOT AREA	5,000 SF	5,232 SF	YES
MIN LOT FRONTAGE	50 LF	50.0 LF	YES
MIN FRONT YARD SETBACK	25 LF	25.6 LF	YES
MIN SIDE YARD SETBACK	5 LF	3.2 LF	NO
TOTAL TWO SIDE YARDS	10 LF	12.0 LF	YES
MIN REAR YARD	20 LF	38.2 LF	YES
MAX PRINCIPAL BLDG. HEIGHT (MEASURED FROM TOP OF CURB)	35 LF (2.5 STORIES)	32 LF (2.5 STORIES)	YES
MAX BUILDING COVERAGE	30 %	28.3%	YES
MAX LOT COVERAGE	45 %	39.4%	YES

VARIANCE REQUEST

VARIANCE IS REQUESTED FROM LAND USE ORDINANCE SECTION 35-5.3 SCHEDULE 1, ZONING SCHEDULE OF BULK AND COVERAGE CONTROLS (AS SPECIFIED PER PROJECT RESOLUTION No. 28-2022 GRANTING SUBDIVISION APPROVAL), WHERE 5-FT MINIMUM SIDE YARD SETBACK IS REQUIRED, A SIDE YARD SETBACK OF 3.2 FT WAS BUILT.



VARIANCE PLAN FOR
OCEAN BAY DEVELOPERS, LLC
 BLOCK 23 LOT 7.05
 TAX MAP SHEET No. 3
 MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP RECORDATION ACT, RESOLUTION OF APPROVAL, AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

VARIANCE PLAN APPROVED BY THE MANASQUAN BOROUGH ZONING BOARD OF ADJUSTMENT ON: _____

CHAIRMAN _____ DATE _____
 SECRETARY _____ DATE _____

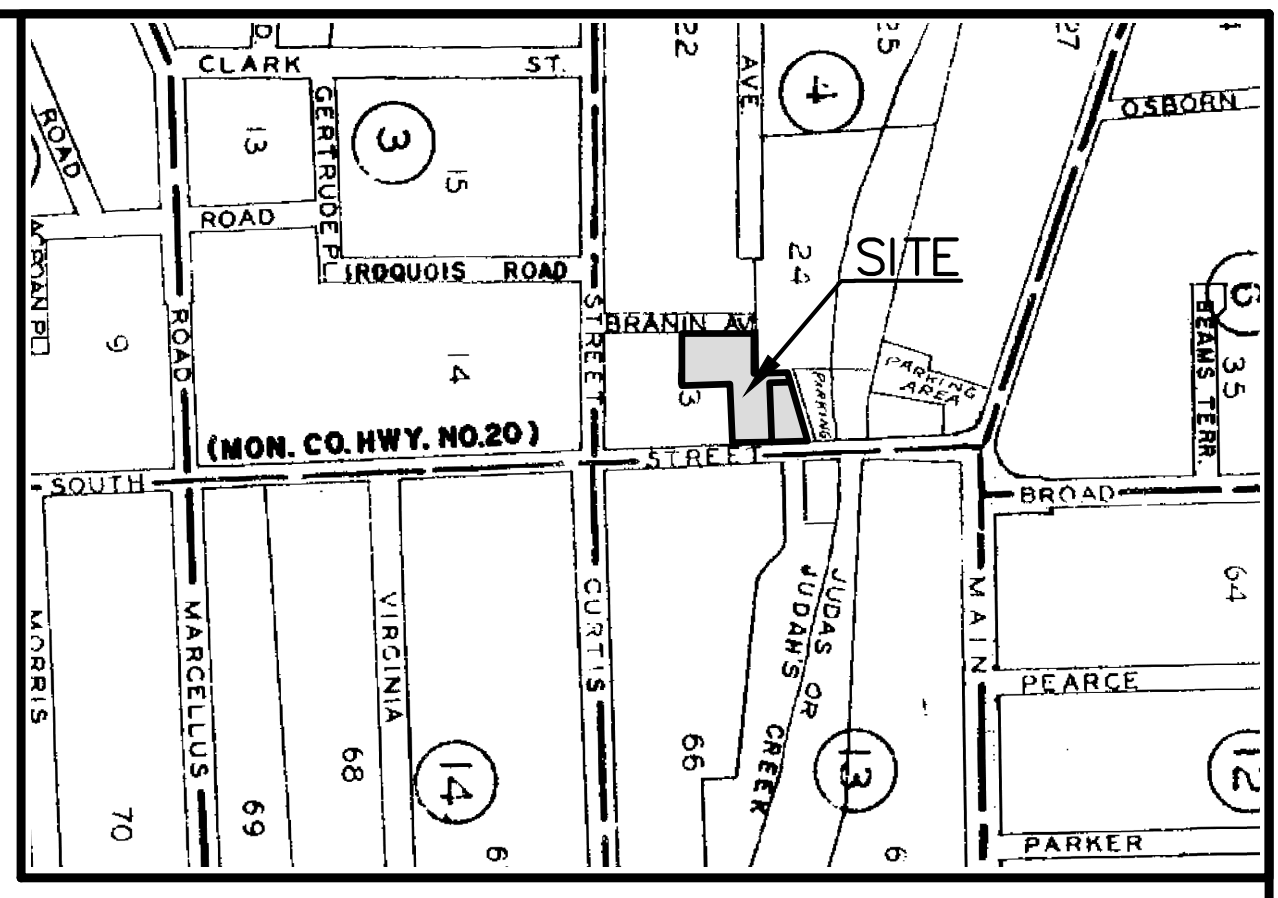
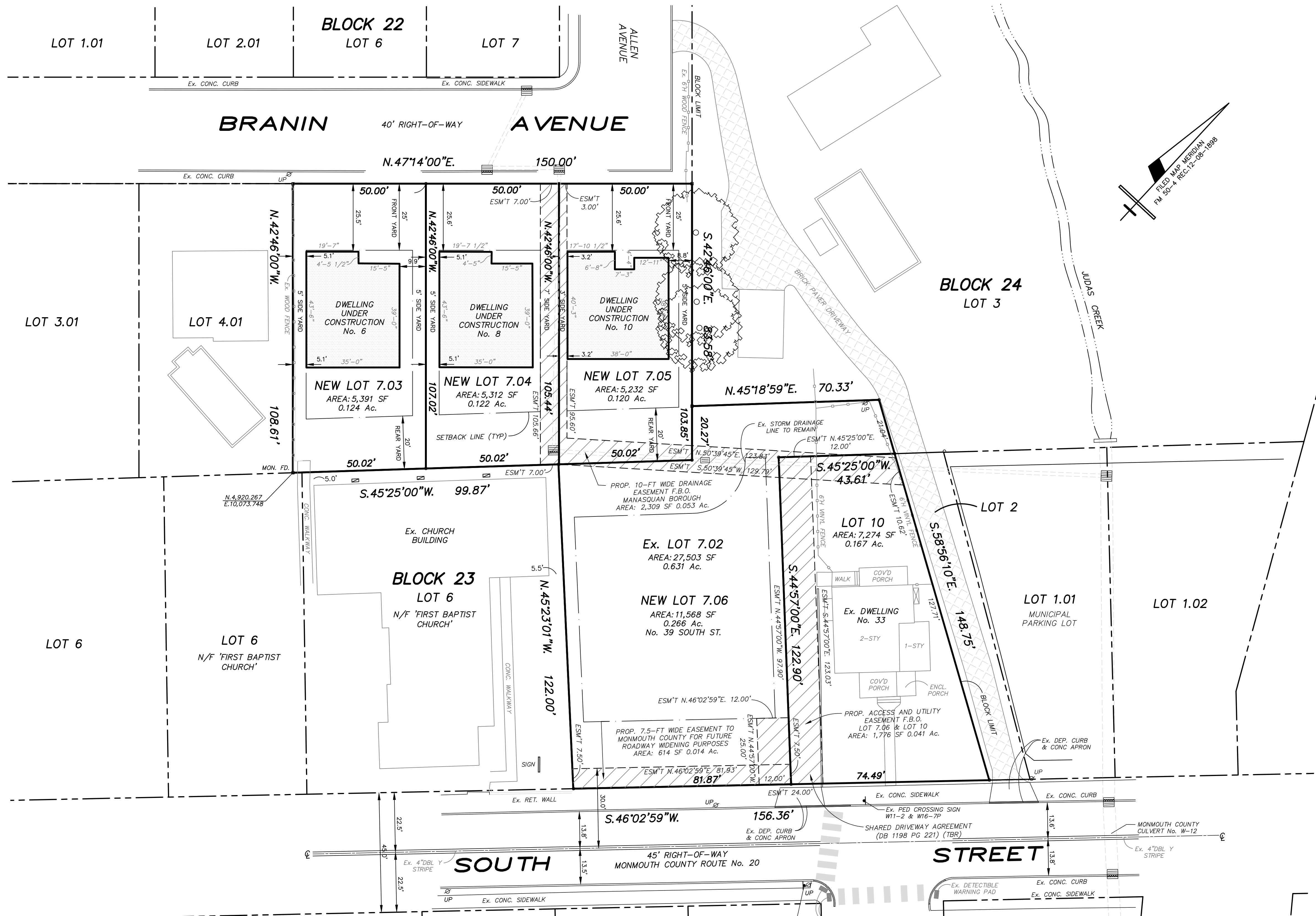
ZONING BOARD ENGINEER _____ DATE _____

No.	DATE	REVISION	BY	CHK

Andrew R. Stockton
 ANDREW R. STOCKTON
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic No. 35405
 8-15-23
 DATE

Scope Engineering inc.
 Consulting Engineers
 CERTIFICATE No. 24GA28103200
 P.O. BOX 899
 FORKED RIVER, NJ 08731
 PHONE: 609-971-0700
 FAX: 609-971-0772

SCALE: 1" = 20'
 DATE: 8/15/23
 DRAWN BY: ARS
 CHECKED BY: ARS
 SHEET NO. 1 OF 1
 PROJECT NUMBER 814-13



- GENERAL NOTES**
- SUBJECT PROPERTY IS KNOWN AS PART OF EXISTING LOT 7.02 IN BLOCK 23 AS SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAPS FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. ALSO KNOWN AS PROPOSED LOT 7.05 IN BLOCK 23 AS SHOWN ON A CERTAIN PLAN ENTITLED: "FINAL PLAT - MAJOR SUBDIVISION, BLOCK 23 LOT 7.02 & LOT 10..." DATED 12-06-21, REVISED THROUGH 6-10-23 AND ABOUT TO BE RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK. SAID FINAL PLAT SHALL BE UPDATED TO INCLUDE CHANGES TO MATCH THIS PLAN UPON APPROVAL AND PRIOR TO RECORDING.
 - OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
 - ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - UNDERGROUND UTILITY LINES, UNDERGROUND STORM DRAINAGE LINES, AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS ONLY.
 - THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE, WITH REGARD TO THE PRESENCE OR ABSENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. CLIENT IS ADVISED TO PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.

VARIANCE PLAN APPROVED BY THE MANASQUAN BOROUGH ZONING BOARD OF ADJUSTMENT ON: _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP RECORDATION ACT, RESOLUTION OF APPROVAL, AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

ZONING BOARD ENGINEER _____ DATE _____

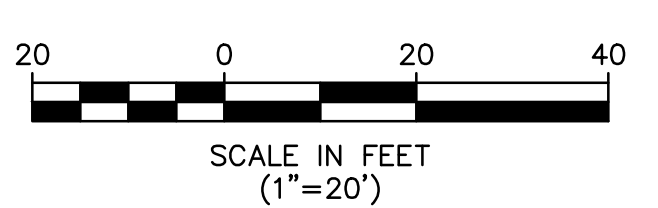
ZONING SCHEDULE - RESIDENTIAL "R-2" ZONE*

*LOT DEED RESTRICTED TO COMPLY WITH R-2 BULK ZONING SCHEDULE PER RESOLUTION 28-2022

REQUIREMENT	R-2 ZONE	PROPOSED (7.05)	COMPLIES
PERMITTED USE	SINGLE-FAMILY	SINGLE-FAMILY	YES
MIN LOT AREA	5,000 SF	5,232 SF	YES
MIN LOT FRONTAGE	50 LF	50.0 LF	YES
MIN FRONT YARD SETBACK	25 LF	25.6 LF	YES
MIN SIDE YARD SETBACK	5 LF	3 LF	VARIANCE
TOTAL TWO SIDE YARDS	10 LF	12.0 LF	YES
MIN REAR YARD	20 LF	38.2 LF	YES
MAX PRINCIPAL BLDG. HEIGHT (MEASURED FROM TOP OF CURB)	35 LF (2.5 STORIES)	32 LF (2.5 STORIES)	YES
MAX BUILDING COVERAGE	30 %	28.3 %	YES
MAX LOT COVERAGE	45 %	39.4 %	YES

VARIANCE REQUEST

VARIANCE IS REQUESTED FROM LAND USE ORDINANCE SECTION 35-5.3 SCHEDULE 1, ZONING SCHEDULE OF BULK AND COVERAGE CONTROLS (AS SPECIFIED PER PROJECT RESOLUTION NO. 28-2022 GRANTING SUBDIVISION APPROVAL), WHERE 5-FT MINIMUM SIDE YARD SETBACK IS REQUIRED. A SIDE YARD SETBACK OF 3-FT IS PROPOSED WHERE A SIDE YARD SET-BACK OF 3.2 FT WAS ACTUALLY BUILT ON FUTURE LOT 7.05.



OWNER / APPLICANT
OCEAN BAY DEVELOPERS, LLC
1065 ROUTE 66
BRIDGEWATER, NJ 08807

VARIANCE PLAN FOR
BLOCK 23 LOT 7.02
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY
(Tax Map Sheet No. 3)

Scope Engineering inc.
Consulting Engineers
CERTIFICATE No. 246A28103200
P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

No.	DATE	REVISION	BY	CHK

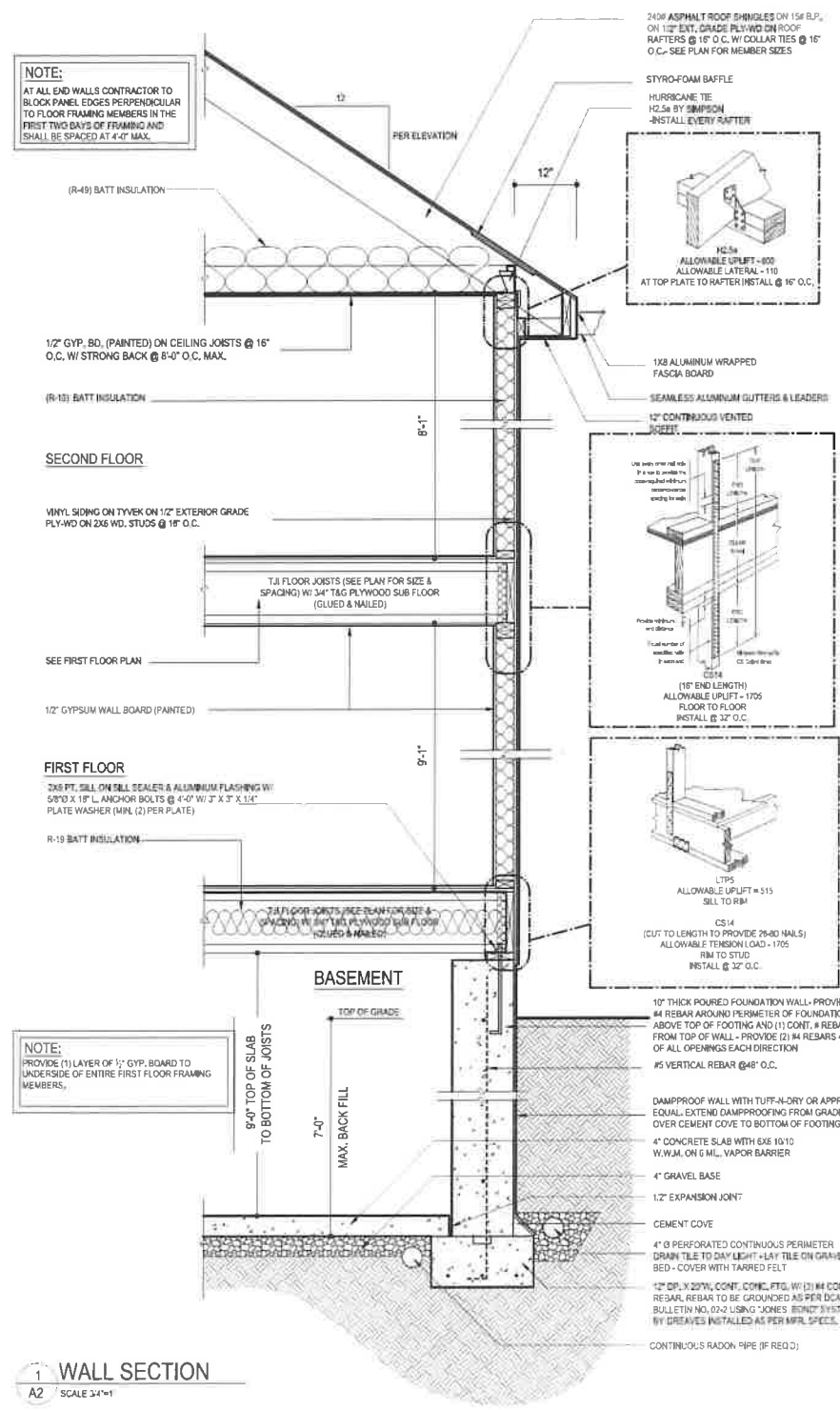
MAJOR SUBDIVISION

SCALE: 1"=20'
DATE: 9-09-23
DRAWN BY: ARS
CHECKED BY: ARS
SHEET NO. 1 OF 1
PROJECT NUMBER 814-13

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
N.J. Lic No. 35405

9-09-23
DATE

NOTE:
AT ALL END WALLS CONTRACTOR TO BLOCK PANEL EDGES PERPENDICULAR TO FLOOR FRAMING MEMBERS IN THE FIRST TWO BAYS OF FRAMING AND SHALL BE SPACED AT 4'-0" MAX.

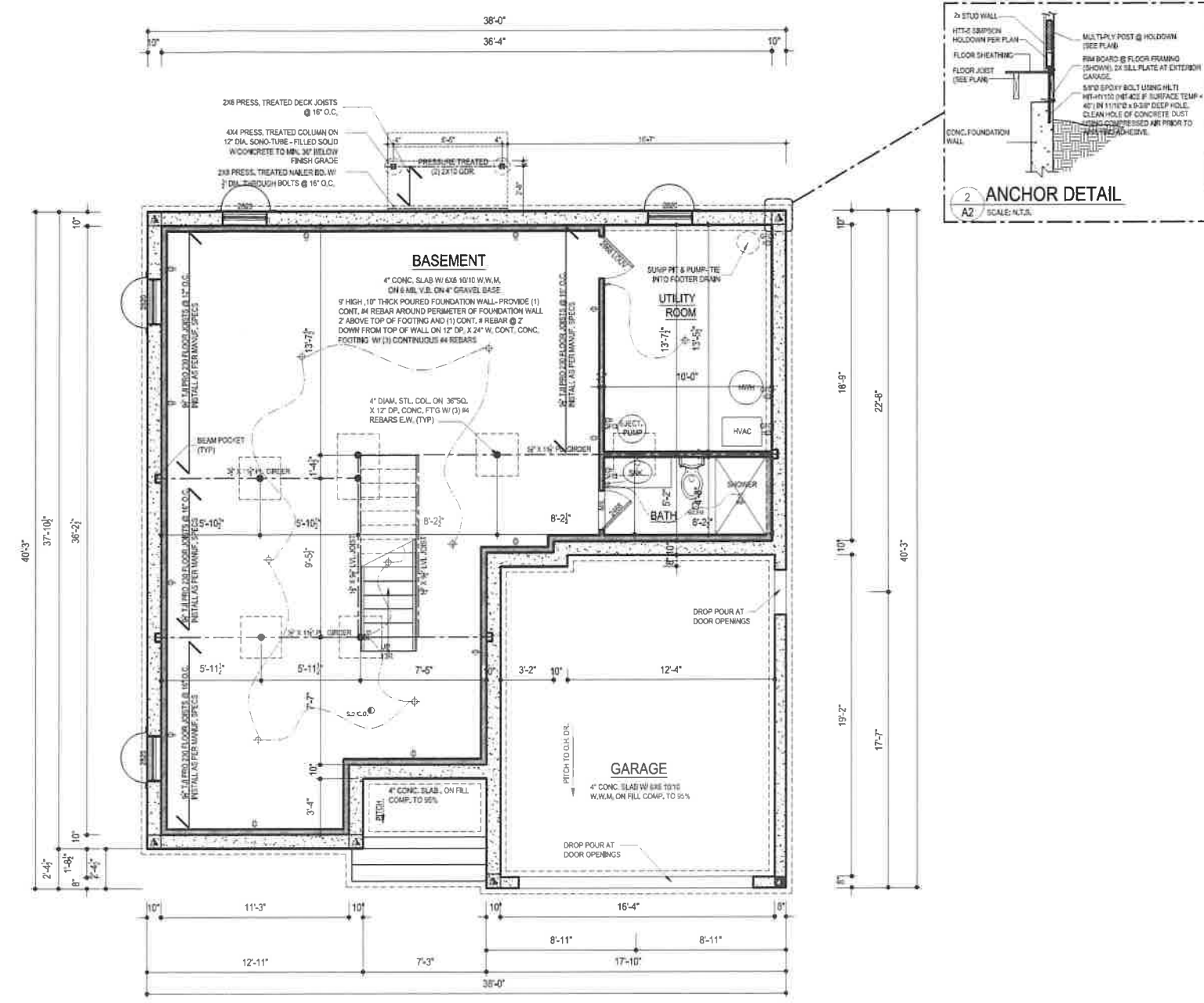


1 WALL SECTION
A2 SCALE: 3/4"=1'

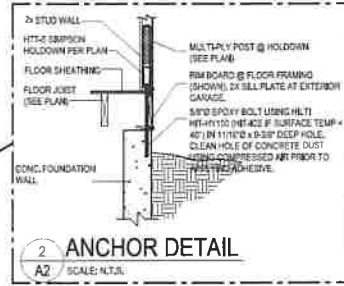
UPPER GROUNDING:
CODE REQUIRES ALL "AVAILABLE" GROUNDING ELECTRODES BE BONDED TOGETHER TO FORM A GROUNDING ELECTRODE SYSTEM (250-8.1). UNDERGROUND METAL WATER PIPE, METAL FRAMES OF BUILDINGS, CONCRETE-ENCASED ELECTRODES, GROUND RINGS, AND "MADE" ELECTRODES, THE ELECTRODES ARE TO BE CONNECTED TOGETHER WITH A CONTINUOUS BONDING JUMPER OR VIA THE ELECTRODES THEMSELVES. CONCRETE-ENCASED REINFORCING RODS MUST ALWAYS BE USED WHEN AVAILABLE.

A CONCRETE-ENCASED ELECTRODE OR "UPPER GROUND" (250-8.1 (C)), IS A 3/8" INCH SIZE REBAR OR #4 BARE COPPER CONDUCTOR AT LEAST 20 FEET LONG, LOCATED WITHIN OR NEAR THE BOTTOM OF THE FOUNDATION OR FOOTING ENCASED BY AT LEAST 2 INCHES OF CONCRETE. REBAR MUST BE BARE, GALVANIZED, OR OTHERWISE CONDUCTIVITY COATED STEEL. REBAR MUST NOT BE COATED WITH EPOXY OR OTHER INSULATION. LENGTHS OF REBAR MAY BE CONNECTED TOGETHER TO FORM AN EXCELLENT LOW-RESISTANCE GROUNDING ELECTRODE.

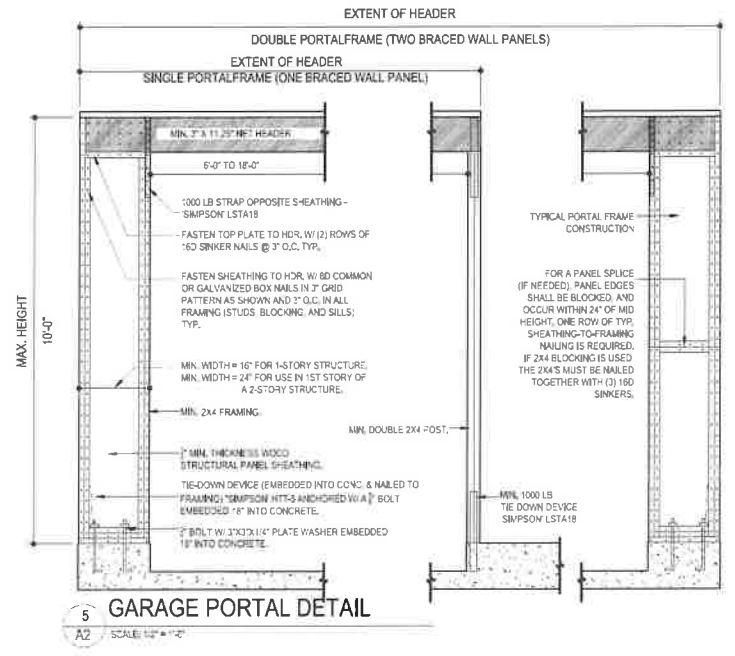
CONNECTIONS TO BURIED, DRIVEN, OR CONCRETE-ENCASED ELECTRODES NEED NOT BE "ACCESSIBLE" (250-11.2). COPPER NOT ALUMINUM, MUST BE EMPLOYED AS GROUNDING CONDUCTOR WHERE IN EARTH OR SUBJECT TO CORROSIVE CONDITIONS (250-40(A)), WHERE THE GROUNDING ELECTRODE IS A METAL UNDERGROUND WATER PIPE. A SUPPLEMENTAL ELECTRODE MUST BE USED (250-8.1(A)).



1 FOUNDATION PLAN
A2 SCALE: 1/4"=1'



2 ANCHOR DETAIL
A2 SCALE: N.T.S.



6 GARAGE PORTAL DETAIL
A2 SCALE: 1/2"=1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
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6		
7		
8		
9		
10		

DARIO
ARCHITECTURE | DESIGN



145 ATLANTIC CITY BOULEVARD
BEACHWOOD, NEW JERSEY 08722
TEL: 732-465-6558
F: 732-356-0236

DARIO L. PASCHIARELLI, B.A., AIA
NJ LICENSE NO. A11984
NY LICENSE NO. 03068
PA LICENSE NO. 000008
EMAIL: DARIOARCHITECTURE@GMAIL.COM

SIGNATURE & SEAL:

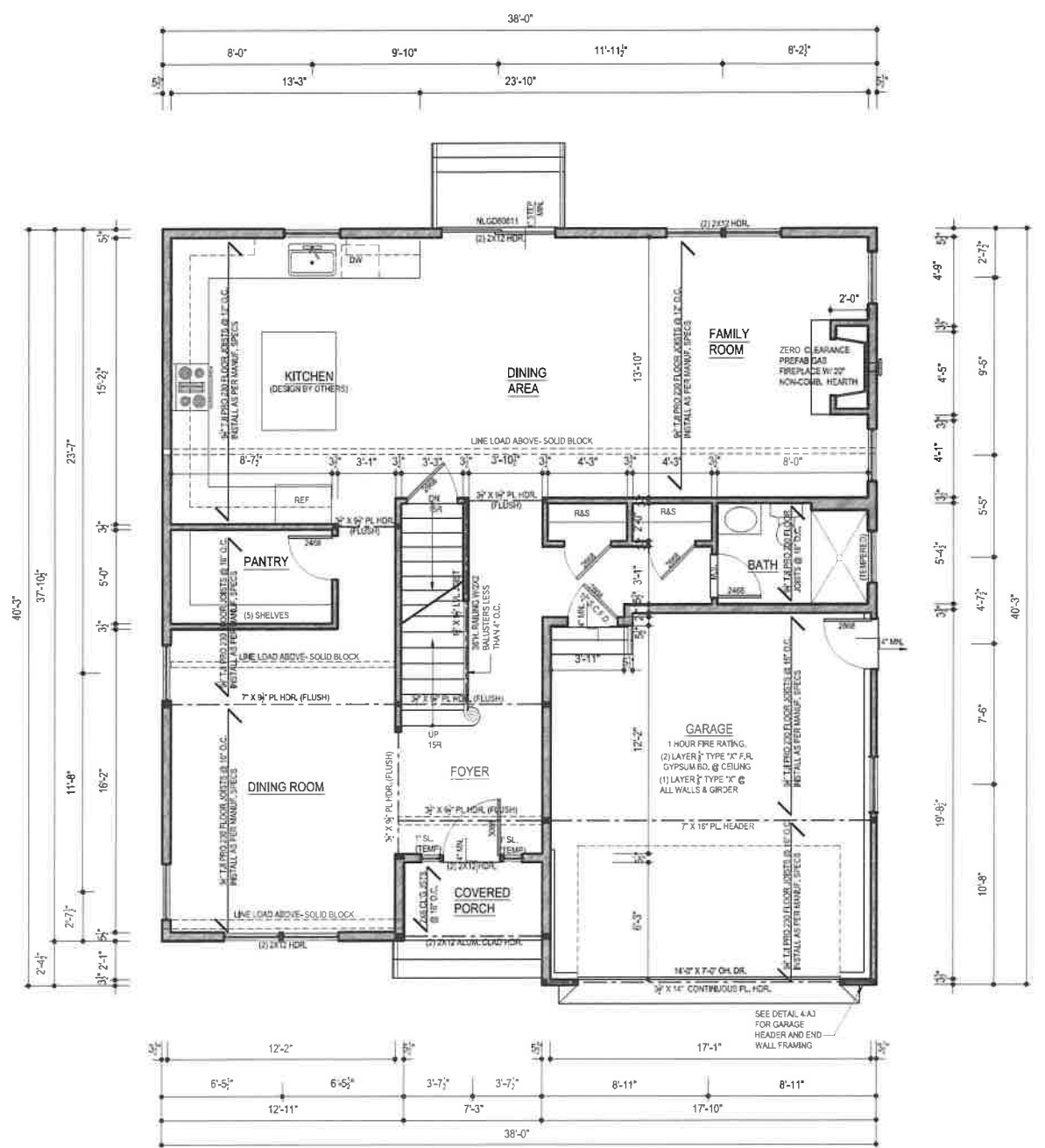
PROJECT INFORMATION:

NEW CONSTRUCTION FOR:
OCEAN BAY DEVELOPERS, LLC
10 BRANIN AVENUE
LOT: 7.05 BLOCK: 23
MANASQUAN, NEW JERSEY

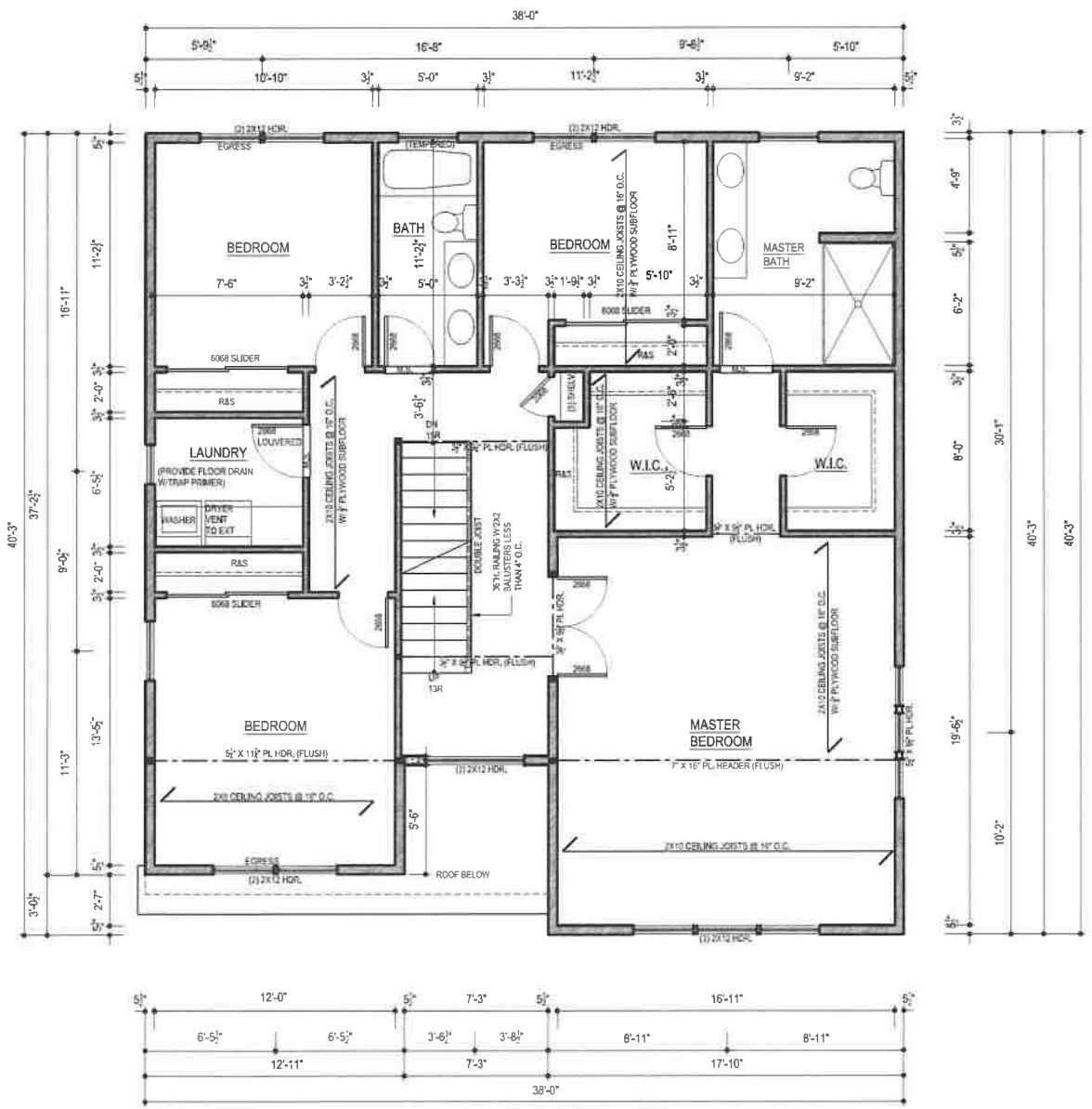
CONTENT:
WALL SECTION
BASEMENT PLAN
DETAILS

JOB NUMBER: 22152
DATE: 11-16-22
DRAWN BY: D.P./IMG

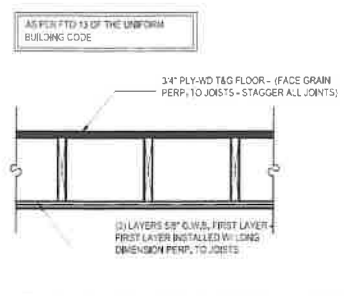
A2
SHEET NUMBER: 2 of 5



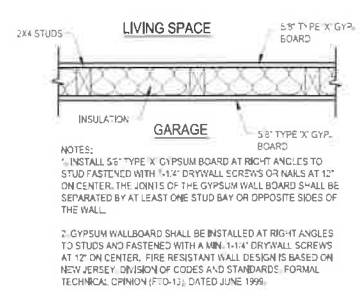
1 FIRST FLOOR PLAN
A3 SCALE 1/8"=1'-0"



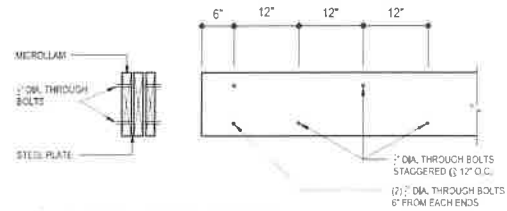
2 SECOND FLOOR PLAN
A3 SCALE 1/8"=1'-0"



4 GARAGE CEILING/WALL DETAIL
A5 SCALE 1/4"=1'-0"



NOTES:
1. INSTALL 5/8" TYPE X GYPSUM BOARD AT RIGHT ANGLES TO STUD FASTENED WITH 1-1/4" DRYWALL SCREWS OR NAILS AT 12" ON CENTER. THE JOINTS OF THE GYPSUM WALL BOARD SHALL BE SEPARATED BY AT LEAST ONE STUD BAY OR OPPOSITE SIDES OF THE WALL.
2. GYPSUM WALLBOARD SHALL BE INSTALLED AT RIGHT ANGLES TO STUDS AND FASTENED WITH A MIN. 1-1/4" DRYWALL SCREWS AT 12" ON CENTER. FIRE RESISTANT WALL DESIGN IS BASED ON NEW JERSEY DIVISION OF CODES AND STANDARDS, FORMAL TECHNICAL OPINION (FTO-13), DATED JUNE 1999.



5 FLITCH BEAM DETAIL
A3 SCALE NTS

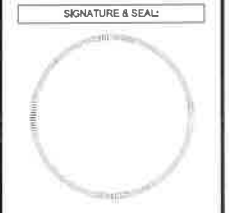
REVISIONS:

NO.	DATE	DESCRIPTION
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DARIO
ARCHITECTURE | DESIGN



145 ATLANTIC CITY BOULEVARD
BEACHWOOD, NEW JERSEY 08722
TEL: 732-465-6838
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DARIO PASQUARELLO, R.A., A.I.A.
NY LICENSE NO. 41178
NJ LICENSE NO. 03008
PA LICENSE NO. 0400208
EMAIL: DARIOARCHITECTURE@GMAIL.COM



PROJECT INFORMATION:

NEW CONSTRUCTION FOR:
OCEAN BAY DEVELOPERS, LLC
10 BRANIN AVENUE
LOT: 7.05 BLOCK: 23
MANASQUAN, NEW JERSEY

CONTENT:
1 FIRST FLOOR PLAN
2 SECOND FLOOR PLAN
3 DETAILS

JOB NUMBER: 22152
DATE: 16/18/22
DRAWN BY: D.P./TMG

A3

SHEET NUMBER: 3 OF 5

NOTE:
 PROVIDE SEAMLESS ALUMINUM
 GUTTERS & LEADERS - COORDINATE W/
 ENGINEER'S GRADING PLAN & SPECS

NOTE:
 ALL WINDOWS ARE TO BE BY
 ANDERSEN OR APPROVED EQUAL

NOTE:
 ALL WINDOWS 6'-0" ABOVE GRADE ARE
 TO HAVE A MIN 24" SILL HEIGHT

REVISIONS:

NO.	DATE	DESCRIPTION
1	5-2-23	TWP COMMENTS
2		
3		
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10		

DARIO
 ARCHITECTURE | DESIGN



145 ATLANTIC CITY BOULEVARD
 BEACHWOOD, NEW JERSEY 08075
 TEL: (732) 403-6138
 F: (732) 355-0235

DARIO L. PARDIATIELLO, P.L.L.C.
 NJ LICENSE NO. A1 1784
 NY LICENSE NO. 03308
 PA LICENSE NO. RA40028
 EMAIL: DARIOARCHITECTURE@GMAIL.COM

SIGNATURE & SEAL:



PROJECT INFORMATION:

NEW CONSTRUCTION FOR:

OCEAN BAY DEVELOPERS, LLC

10 BRANIN AVENUE
 LOT: 7.05 BLOCK: 23
 MANASQUAN, NEW JERSEY

CONTENT:
 ELEVATIONS

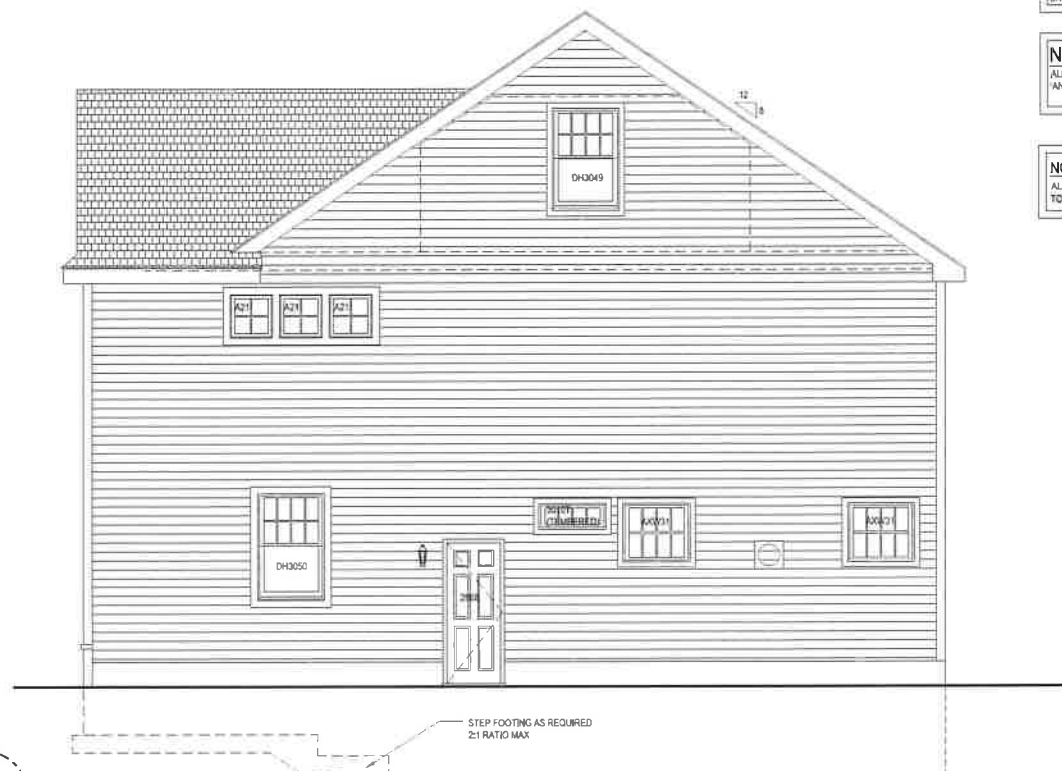
JOB NUMBER: 22152
 DATE: 11-18-22
 DRAWN BY: D.P./TMG

A5

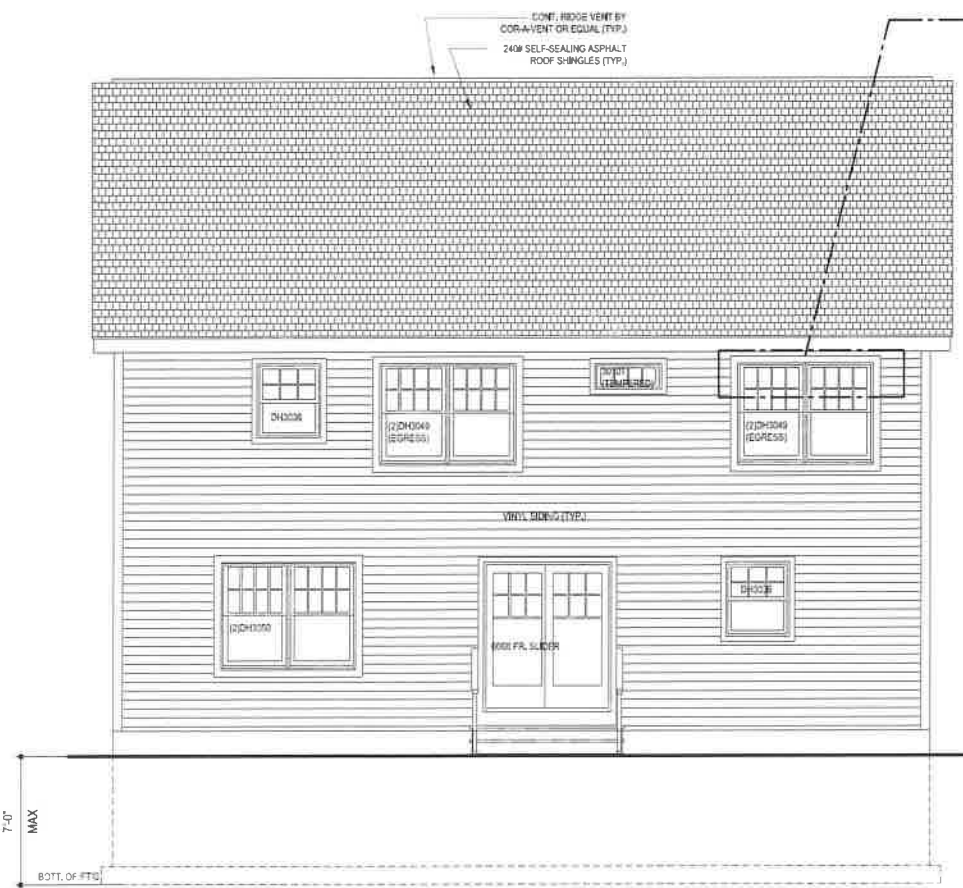
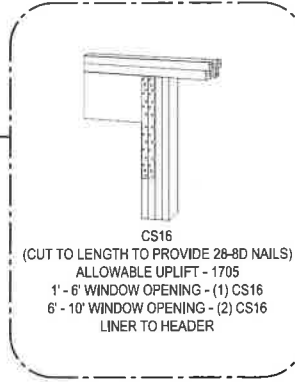
SHEET NUMBER: 5 OF 5



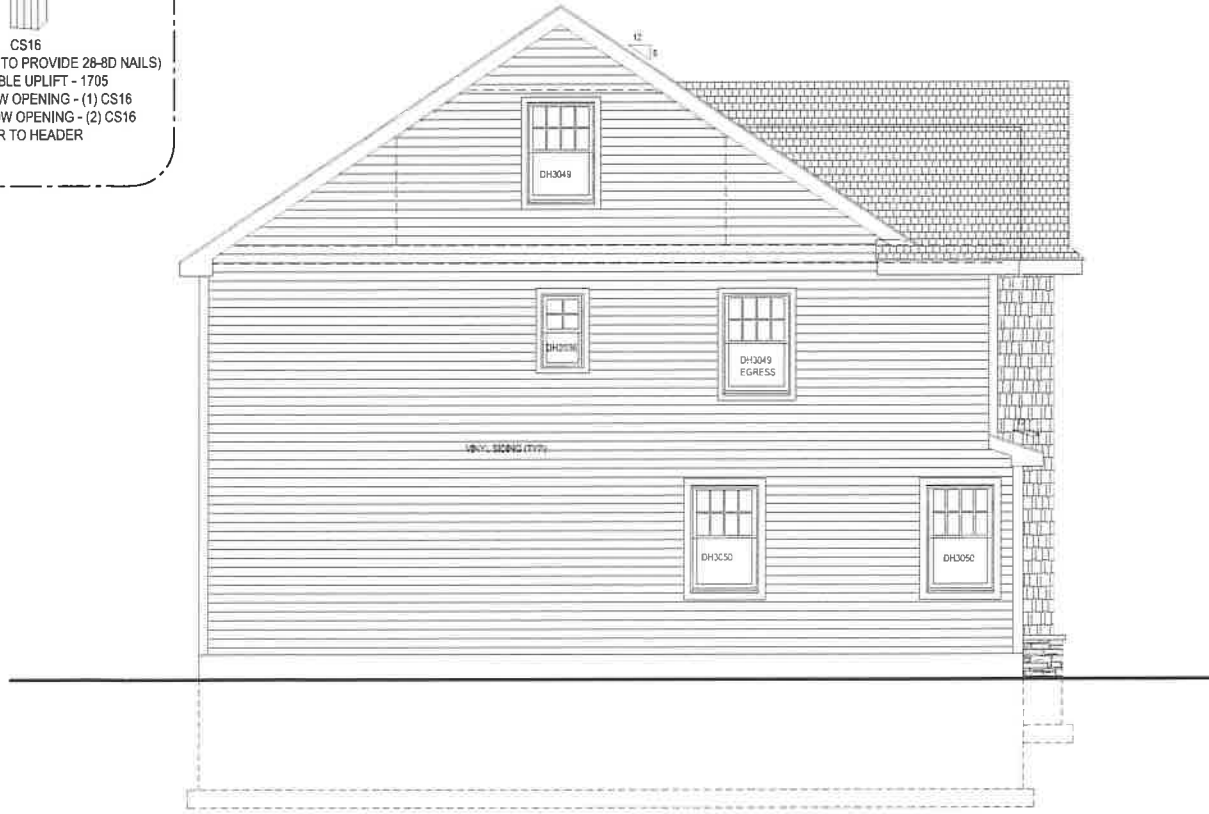
1 FRONT ELEVATION
 A5 SCALE 1/8"=1'



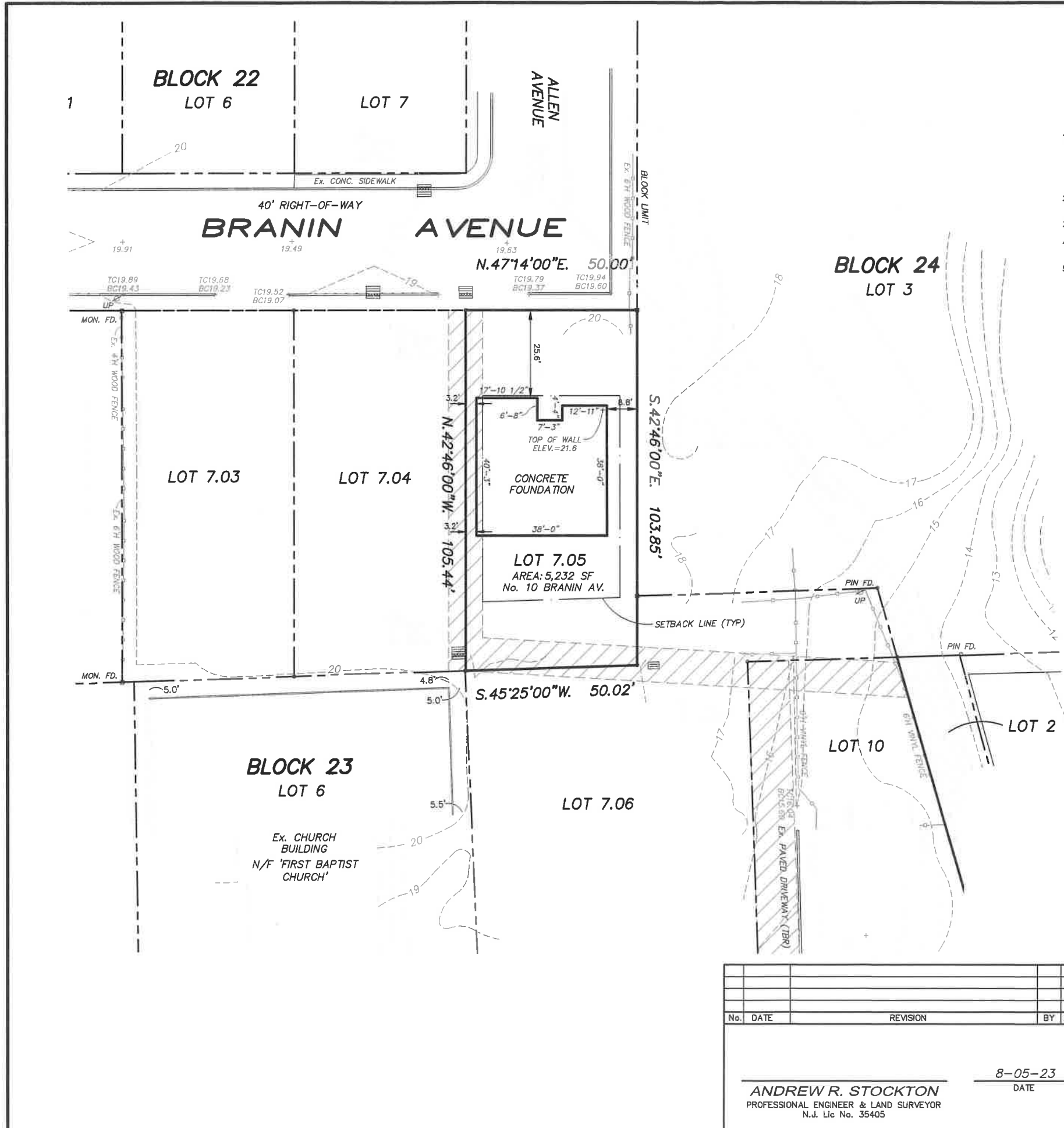
2 RIGHT SIDE ELEVATION
 A5 SCALE 1/4"=1'



3 REAR ELEVATION
 A5 SCALE 1/4"=1'



4 LEFT SIDE ELEVATION
 A5 SCALE 1/4"=1'



GENERAL NOTES

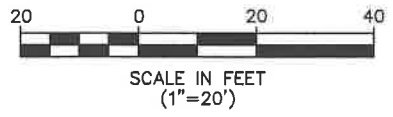
1. SUBJECT PROPERTY IS KNOWN AS LOT 7.05 IN BLOCK 23 AS SHOWN OR ABOUT TO BE SHOWN ON SHEET 3 OF THE CURRENT MUNICIPAL TAX MAPS FOR MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY. ALSO KNOWN AS LOT 7.05 IN BLOCK 23 AS SHOWN ON A CERTAIN PLAN ENTITLED: "FINAL PLAT - MAJOR SUBDIVISION, BLOCK 23 LOT 7.02 & LOT 10..." DATED 12-06-21, REVISED THROUGH 6-10-23 AND ABOUT TO BE RECORDED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK.
2. OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
3. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. UNDERGROUND UTILITY LINES, UNDERGROUND STORM DRAINAGE LINES, AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS ONLY.
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SURVEY CERTIFICATION:

CERTIFIED TO: OCEAN BAY DEVELOPERS, LLC

THIS IS TO CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON AUGUST 1, 2023 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". THE INFORMATION DEPICTED HEREON, REPRESENTS THE CONDITIONS FOUND AT THE SITE, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE. ACCORDINGLY THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED.

THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES, CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.



FOUNDATION LOCATION SURVEY FOR

OCEAN BAY DEVELOPERS, LLC

BLOCK 23 LOT 7.05
TAX MAP SHEET No. 3
MANASQUAN BOROUGH, MONMOUTH COUNTY, NEW JERSEY

	SCALE: 1" = 20'
	DATE: 8/05/23
	DRAWN BY: ARS
	CHECKED BY: ARS
	SHEET NO. 1 OF 1
	PROJECT NUMBER 814-13

No.	DATE	REVISION	BY	CHK

8-05-23
DATE

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
N.J. Lic No. 35405

Scope Engineering inc.
Consulting Engineers
CERTIFICATE No. 24GA28103200

P.O. BOX 899
FORKED RIVER, NJ 08731
PHONE: 609-971-0700
FAX: 609-971-0772

October 3, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2130
Variance – Reilly
Block 71, Lot 112.03
75 Morris Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

OCT 04 2023

DPW _____ CONST _____
PD _____ OTHER _____

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Joseph Kociuba, of KBA Engineering Services, LLC, dated July 27, 2023.

The property is located in the R-2 Single-Family Residential Zone with frontage on Morris Avenue. With this application, the applicant proposes to construct a new 16' x 32' in-ground pool, paver patio, sitting wall, outdoor kitchen and shower, porch, rear stairs, and portion of the existing asphalt driveway converted to stone in the rear yard of the existing residential lot. The application is deemed complete on October 3, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone.
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family residential dwelling per lot is permitted, whereas two detached residential dwelling units exist and are proposed.
3. The following non-conformities exist on Lot 112.03 and are not proposed to be modified as part of this application:
 - a. A minimum side yard setback of 5 feet is required, whereas a setback of approximately 4 feet exists and is proposed to the air conditioning unit (west).
 - b. A minimum front yard setback of 25 feet is required, whereas a setback of 20.1 feet exists and is proposed to the front dwelling.



Re: Boro File No. MSPB-R2130
Variance – Reilly
Block 71, Lot 112.03

October 3, 2023
Sheet 2

4. The base flood elevation for the property is 10 (Zone AE).
5. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed improvements will not increase the impervious coverage on the lot.
6. The proposed grading of the lot does not appear that it will alter the existing drainage patterns, however the applicant's engineer should confirm this and indicate that there will be no negative effects to neighboring properties. The proposed grading should also consider the sitting wall which could block surface runoff from draining off the patio area.
7. Pool filter backwash discharge and any other pool discharge shall be directed so as to not negatively impact adjacent properties.
8. It does not appear that any existing trees will be removed as part of the application.
9. Any curb and sidewalk must be replaced along Morris Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Joseph Kociuba, PE, PP
KBA Engineering Services, 2517 Route 35, Building E, Suite 203, Manasquan, NJ 08736
William Reilly
75 Morris Avenue, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: William and Michelle Anne Reilly

*Applicant's Address: 75 Morris Ave. Manasquan, NJ 08736

*Telephone Number: Home: 732-673-3116 Cell: _____

*e-mail Address: Middletonlaw2517@gmail.com

*Property Location: 75 Morris Ave. Manasquan

*Block: 71 Lot: 112.03

*Type of Application: Bulk Variance

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: August 22, 2023

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? yes

*Does the Applicant own any adjoining land? no

*Are the property taxes paid to date? yes

*Have there been any previous applications to the Planning Board concerning this property? no
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? no

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Timothy B. Middleton

9/20/2023

Signature of Applicant or Agent

Date

Attorney for the Applicant

06/2021

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
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THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

August 22, 2023

William Reilly
75 Morris Avenue
Manasquan, NJ 08736

Re: Block: 71 Lot: 112.03 Zone: R-2 Flood Zone: AE BFE: 10ft. DFE: 11ft.

Dear Sir:

On this date we reviewed your application for the following project.

Install an inground pool, porch, stoop & stairs, paver patios, outdoor kitchen in the rear yard and a standby generator in the side yard.

Plot plan prepared by Joseph Kociuba on July 27, 2023.

Application denied for the following reason(s):

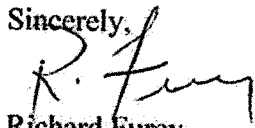
Section 35-5.3 – R-2 Zone – Permitted Use – Only one single family dwelling permitted.
Two single family dwellings existing.

Section 35-9.4 – Front Setback – 25ft. Required.
20.1ft. Existing

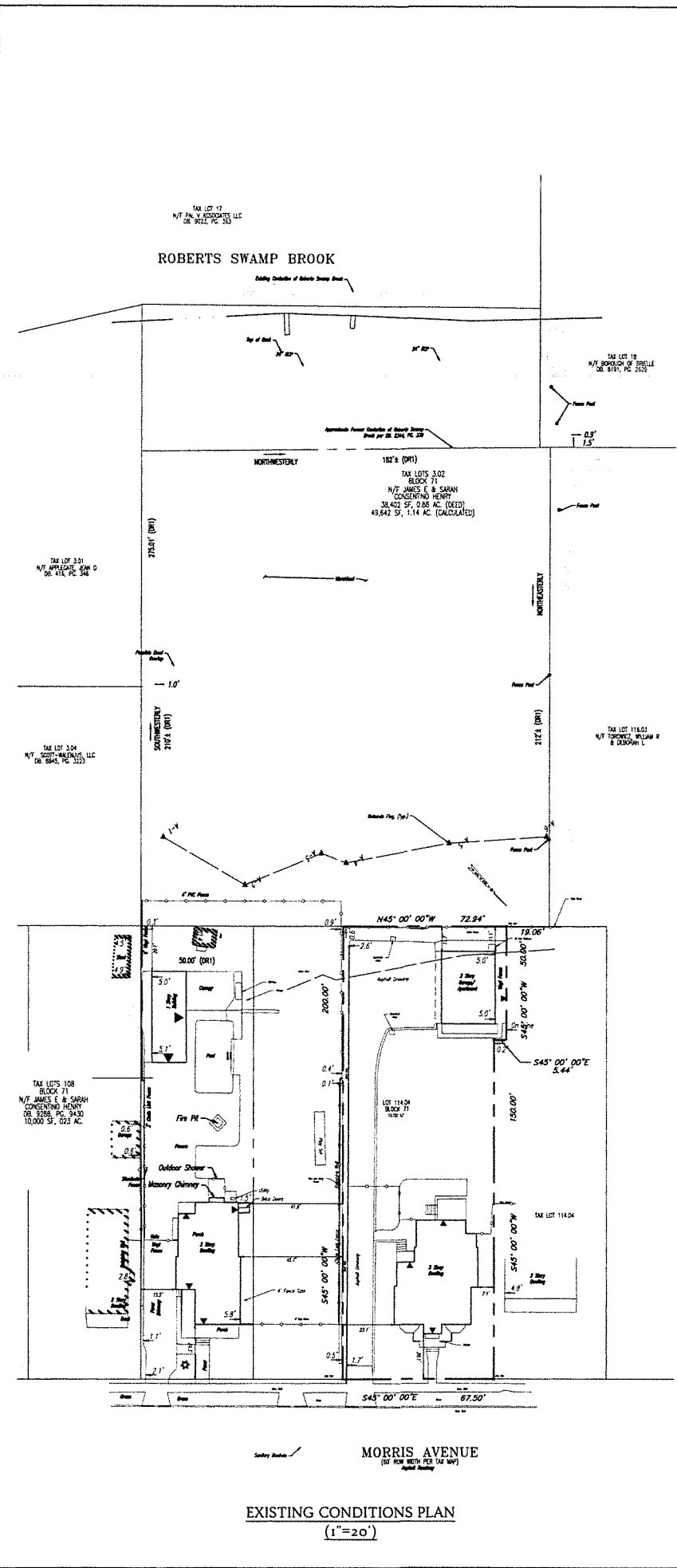
Section 35-11.8 – prohibits locating mechanical equipment (a/c) in the required 5ft. side setback area.

If you have any questions, please call me at 732-223-0544, ext. 256

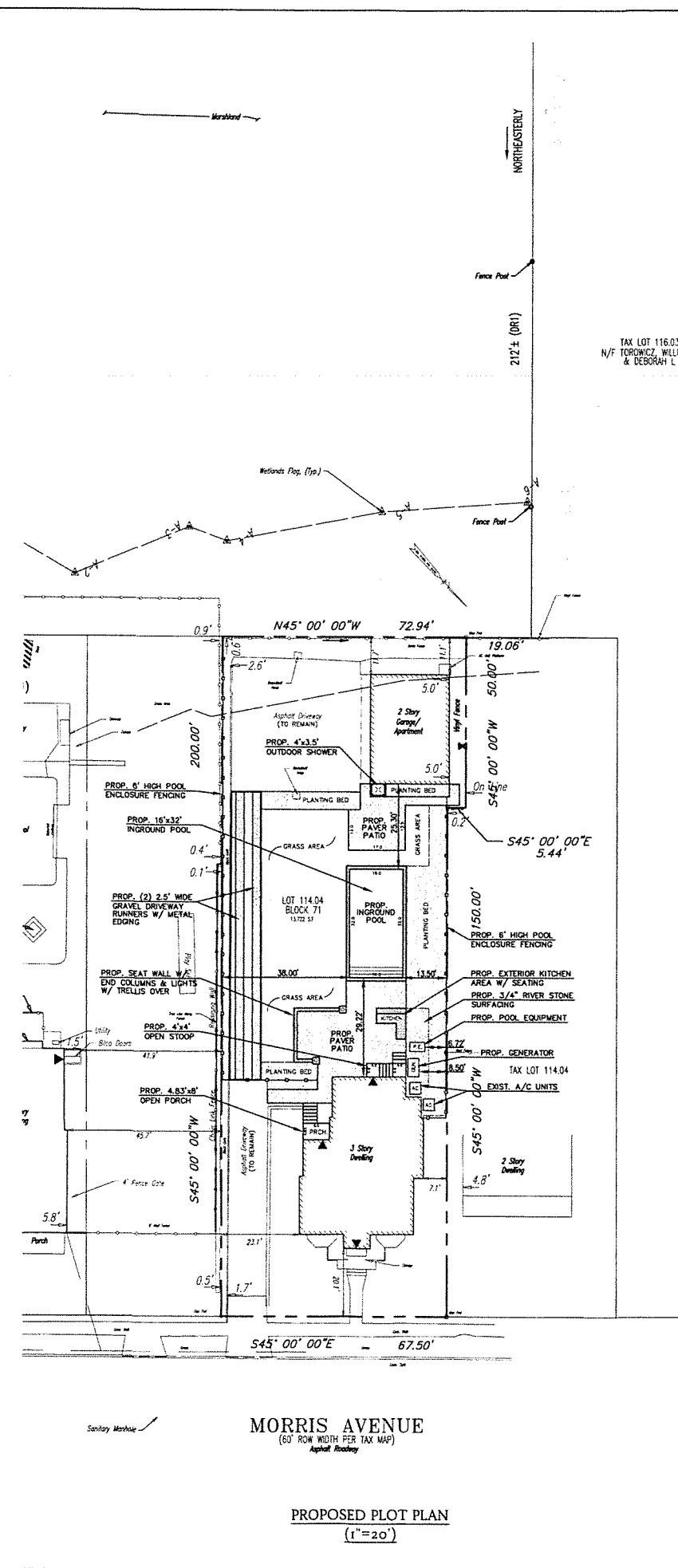
Sincerely,



Richard Furey
Zoning/Code Enforcement Officer



EXISTING CONDITIONS PLAN
(1"=20')



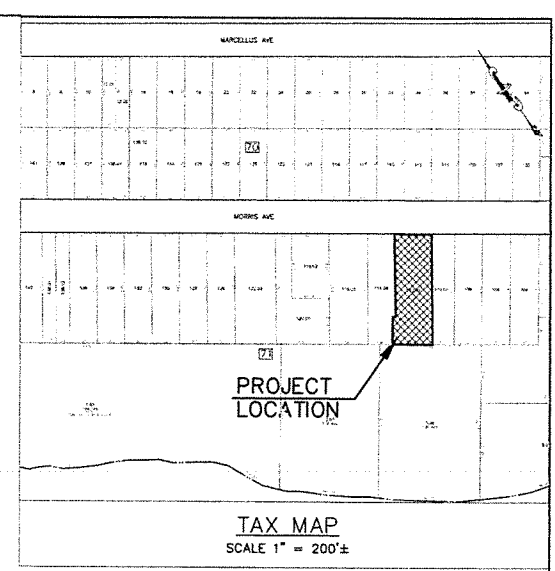
PROPOSED PLOT PLAN
(1"=20')

EXIST. BUILDING COVERAGE	1483	S.F.
EXIST. DWELLING	265	S.F.
EXIST. GARAGE/APARTMENT	2,248	S.F.
EXIST. TOTAL BUILDING COVERAGE	4,000	S.F. (16.32%)
TOTAL LOT AREA	13,772.00	

EXIST. IMPERVIOUS COVERAGE	2,248	S.F.
EXIST. BUILT DRIVEWAY	3,402	S.F.
EXIST. PAVED DRIVEWAY	60	S.F.
EXIST. FRONT WALK/STEPS	114	S.F.
EXIST. FRONT PORCH	63	S.F.
EXIST. SIDE PORCH/STEPS	140	S.F.
EXIST. REAR PORCH/STEPS	0	S.F.
EXIST. REAR PAVER PATIOS/WALKS (875 S.F.) EXEMPT	18	S.F.
EXIST. A/C PADS	18	S.F.
EXIST. TOTAL IMPERVIOUS COVERAGE	6,045	S.F. (43.89%)
TOTAL LOT AREA	13,772.00	

PROP. BUILDING COVERAGE	1483	S.F.
EXIST. DWELLING (NO CHANGE)	265	S.F.
EXIST. GARAGE/APARTMENT (NO CHANGE)	2,248	S.F.
PROP. TOTAL BUILDING COVERAGE	2,248	S.F. (16.32%)
TOTAL LOT AREA	13,772.00	

PROP. IMPERVIOUS COVERAGE	2,248	S.F.
EXIST. BUILT DRIVEWAY	2,637	S.F.
EXIST. PAVED DRIVEWAY	60	S.F.
EXIST. FRONT WALK/STEPS	114	S.F.
EXIST. FRONT PORCH	63	S.F.
PROP. SIDE PORCH/STEPS	60	S.F.
PROP. REAR STAIRS/STEPS	0	S.F.
PROP. REAR PAVER PATIOS/WALKS (1,050 S.F.) EXEMPT	43	S.F.
PROP. SEAT WALL/COLUMNS	412	S.F.
PROP. INGROUND POOL/COVERING	54	S.F.
PROP. KITCHEN/SEATING AREA	18	S.F.
PROP. POOL EQUIPMENT PAD	18	S.F.
PROP. GENERATOR PAD	16	S.F.
PROP. OUTSIDE SHOWER	18	S.F.
EXIST. A/C PADS	18	S.F.
PROP. TOTAL IMPERVIOUS COVERAGE	5,960	S.F. (43.28%)
TOTAL LOT AREA	13,772.00	



GENERAL NOTES

PROPERTY IS KNOWN AS BLOCK 71, LOT 112.03 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.3162± ACRES (13,772 S.F.).

APPLICANT: WILLIAM & MICHELLE ANNE REILLY
75 MORRIS AVENUE
MANASQUAN, N.J.

APPLICANT PROPOSES TO CONSTRUCT AN INGROUND POOL.

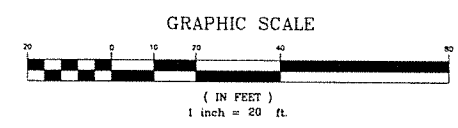
DESCRIPTION	ZONE R-2	
	REQUIRED/PERMITTED	EXISTING
BUILDING USE	SINGLE FAMILY RESIDENTIAL	**TWO-FAMILY RESIDENTIAL
LOT AREA	5,000 S.F.	13,772 S.F.
MIN. LOT FRONTAGE	50 FT.	67.50 FT.
FRONT YARD SETBACK (EXCLUD)	20 FT.	20.1 FT.
SIDE YARD SETBACK	5 FT.	7.1 & 23.1 FT.
REAR YARD SETBACK	20 FT.	403.0 FT.
PRINCIPAL BUILDING COVERAGE	30 %	16.32 % (2,248 SF)
MAX. TOTAL IMPERVIOUS	45 %	43.89 % (6,045 SF)
MAX. BLDG. HEIGHT	33 FT.	< 33 FT.
MIN. STORAGE	80 S.F.	> 80 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	490 S.F.
MIN. MECHANICAL SETBACK	5 FT. (SIDE/REAR YARDS)	N/A
MIN. GARAGE SIDE SETBACK	5 FT.	5.0 FT.
MIN. GARAGE REAR SETBACK	5 FT.	11.1 FT.

** - INDICATES EXISTING NON-CONFORMING USE

PLAN NOTES

- EXISTING SEWER AND WATER SERVICES TO REMAIN AND TO BE REUSED.
- PROPERTY IS LOCATED IN ZONE "AE" - ELEV. 10.0 PER FEMA PRELIMINARY FIRM MAPS
- PROPERTY IS LOCATED WITHIN PRELIMINARY FIRM PANEL NO. 34025C0456G.

BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY DYNAMIC SURVEY, L.L.C. DATED 6/9/2023.



REV. NO. DATE DESCRIPTION

PLOT PLAN
75 MORRIS AVENUE
BLOCK 71 - LOT 112.03
FOR WILLIAM & MICHELLE ANNE REILLY
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

KBA ENGINEERING SERVICES, LLC
2517 Route 35, Bldg E, Ste 203
Manasquan, NJ 08735
P: (732) 722-8551 F: (732) 722-8557
KBAengineers.com
Plans@KBAengineers.com
Certificate of Authority No.: 245A2022008

DRN SW CHK JJK
PROJECT NO. 2023-131
SCALE AS SHOWN
DATE 7/27/23
SHEET 1 OF 1

JOSEPH J. KOCIUBA, P.E., P.P.
P.E. License No.: GEA45850